



# Genesee County Land Bank Authority

452 S. Saginaw St. 2<sup>nd</sup> Floor, Flint, MI 48502

## Neighborhood Stabilization Program 2 (NSP2)

### Invitation for Bids – General Contractor

924 Eddy St., Flint, MI 48503

BID NUMBER: LB 12-002

Due Date: Monday, May 14, 2012 at 3:00 pm EST

As part of the Michigan NSP 2 Consortium, a partnership between:

Michigan State Housing Development Authority (MSHDA)

The City of Flint

Genesee County Land Bank Authority (GCLBA)



## INVITATION FOR BIDS: 924 EDDY ST. – GENERAL CONTRACTOR

### Overview

The Genesee County Land Bank Authority (GCLBA) is seeking sealed bids for the rehabilitation of 924 Eddy St., Flint, MI 48503. This property is being rehabilitated as single-family residential homes to be sold to income eligible buyers under the Neighborhood Stabilization Program 2 (NSP2). The GCLBA has received NSP 2 grant funding from the MSHDA for this purpose. The NSP 2 funds are provided to MSHDA from the U.S. Department of Housing and Urban Development (HUD).

### Sealed Bid Due Date

General contractors with qualifications and experience in renovation of single-family residential properties invited to submit sealed bids to the Genesee County Land Bank Authority, 452 S. Saginaw St., 2<sup>nd</sup> Floor, Flint, Michigan 48502 on or before **Monday, May 14, 2012 at 3:00 pm EST**. The outside of the envelope must be marked **“LB 12-002, Sealed Bid for 924 Eddy St.”**

### Bid Opening

The bid opening will be Monday, May 14, 2012 at 3:15 pm EST at the Genesee County Land Bank Authority, Conference Room, 452. S. Saginaw St., 2<sup>nd</sup> Floor, Flint, MI 48502 and is open to the public.

### Mandatory Pre-bid Meeting and Walkthrough

A mandatory pre-bid meeting will take place at 924 Eddy St., Flint, MI 48503 at 10:00 am on Wednesday, April 18<sup>th</sup>, 2012.

A mandatory walkthrough of property to be rehabilitated will follow at 924 Eddy St., Flint, MI 48502 at 10:30 am.

Bidders must be present at both the pre-bid meeting and the walkthrough in order to bid on this proposal.

**Full scale architectural drawings for this bid can be purchased from the GCLBA front desk for \$25.00 during business hours.**



### **Proposal Requirements/ Bidding Instructions**

Bids must be sealed, the outside of the envelope must be marked “LB 12-002, Sealed Bid for 924 Eddy St.” and contain the following:

1. Copy of a Valid State of Michigan Builders License
2. Copies of E.P.A. Renovator and Firm Certificates
3. Copy of Lead Abatement Contractor Certification
4. City of Flint Section 3 Certification
5. Insurance Certificate including:
  - a. Worker’s Compensation
  - b. General Liability of \$2,000,000 for Bodily Injury and Property Damage
  - c. Automobile Liability Insurance of \$1,000,000 for Bodily Injury and Property Damage
  - d. Genesee County Land Bank named as a Certificate Holder
6. Bid Guarantee Required at 5% of the bid amount if the contractor’s bid amount is over \$50,000
7. Subcontractor information form (attached)
8. Certification Form Note (attached)
9. Demonstration of Capacity Form (attached)
10. Certification Form of Business Enterprise Status (attached)
11. Typed or Inked Contractor Bid Form and Specifications (attached)

### **City of Flint Section 3 Certification**

City of Flint Section 3 Certification is a requirement of this rehabilitation project. The lowest qualified bidder of this proposal will be given 10 business days from the bid opening to provide the Genesee County Land Bank with a Section 3 Certification from the City of Flint. Requirements for this are included in the bid package. Section 3 forms for **all** general contractor employees and **all** sub-contractor employees to assure GCLBA that the Section 3 compliance is met will be required with each draw request. These forms need to include both section 3 and non-section employees.

### **Bid Acceptance**

Bid proposals of more than 10% lower or 15% higher than the GCLBA cost estimate will be disqualified. The GCLBA anticipates immediately entering into a contract with the general contractor after all certification requirements have been provided and accepted. The contractor must be ready to begin work immediately upon receipt of the notice to proceed by the GCLBA.



### Value Engineering

Value engineering may be used by the GCLBA after the contractor has been selected particularly in instances where a line item significantly varies from the specification writer's estimate.

### Method of Payment

Payment will be made for work items completed based on the accepted price per the contractors bid including any value engineering. GCLBA will provide payment for work items completed after invoice from the contractor, inspection and acceptance by GCLBA, submittal of Section 3 documentation, sworn statements and any lien waivers from the work items completed. The GCLBA will provide payment within 30 days of invoice with complete documentation as required by GCLBA.

### Bonding Requirements

For any construction contracts or subcontracts exceeding **\$50,000.00**, the following is required:

1. A bid guarantee from each bidder equivalent to the bid price. The "bid guarantee" shall consist of a firm commitment such as a bid bond, certified check for 5 percent (5%) of total bid, or other negotiable instrument accompanying a bid as assurance that the bidder will, upon acceptance of his bid, execute such contractual documents as may be required within the time specified.
2. A payment and performance bond on the part of the contractor for 100 percent (100%) of the contract price.

A "payment bond" is one executed in connection with a contract to assure payment as required by law of all persons supplying labor and material in the execution of the work provided for in the contract.

A "performance bond" is one executed in connection with a contract to secure fulfillment of all the contractor's obligations under such contract.

Where bonds are required, the bonds shall be obtained from companies holding certificates of authority as acceptable sureties pursuant to 31 CFR part 223, "Surety Companies Doing Business with the United States."

OR

In lieu of acquiring the payment and performance bonds, Grantee will accept an irrevocable line of credit listing Grantee as the sole beneficiary and equal to (a) the greater of the contract award amount or (b) 25% of the total construction contract. The line of credit must be issued for the entire construction period plus one (1) year following construction completion



### Demonstration of Capacity

All bidders are required to submit a statement(s) of experience, proposed plans for performing the work, and equipment available by completing the Demonstration of Capacity Form attached to this bid proposal.

### Minority Owned Firms and Women's Business Enterprises

GCLBA is seeking to encourage participation by respondents who are small and minority-owned firms, women's business enterprises and labor surplus area firms.

### HUD Debarred List and Excluded Parties List System

Names of owner(s) and the contractor firm awarded the winning bid on this proposal will be reviewed on the HUD Funding Disqualifications Limited Denial of Participation, HUD Funding Disqualifications and Voluntary Abstentions list [https://www5.hud.gov/ecpcis/main/ECPCIS\\_List.jsp](https://www5.hud.gov/ecpcis/main/ECPCIS_List.jsp) and the Excluded Parties List System <https://www.epls.gov/epls/search.do>. Mechanical, electrical and plumbing contractors will also be reviewed on Debarred List and Excluded Parties List System. The subcontractor information form is attached which must be submitted with the bid.

### Lead Safe Work Practices

Lead safe work practices must be used for all rehabilitation activities and performed in accordance with applicable federal, state and local laws, ordinances, codes or regulations governing evaluation and hazard reduction.

### Timeline for Completion

This project must be completed within 120 days from the date the GCLBA issues a notice to proceed. This includes all work items included in the bid and GCLBA final approval at time of completion and a certificate of occupancy issued by the City of Flint Department of Building and Safety.

### Federal Compliance Requirements

The contractor must comply with all of the following federal guidelines for this rehabilitation project:

1. OSHA 29 CRF 1926- Construction Industry Standards
2. 29 CFR 1926.62- Construction Industry Lead Standards
3. 29 CFR 1910.1200 – Hazard Communication
4. 40 CFR Part 261- EPA Regulations
5. HUD Title X parts 1012-1013
6. Federal Labor Standards and Provisions
7. Equal Opportunity Clause
8. Section 3 Clause
9. HUD Contract and Subcontract Activity

### Questions and Addendums

Questions regarding this bid should be directed to Kyle Stottmeister at (810) 257-3088 ext. 533 or email to [kstottmeister@thelandbank.org](mailto:kstottmeister@thelandbank.org) or Jennifer Riggs (810) 257-3088 ext. 530 or email [jriggs@thelandbank.org](mailto:jriggs@thelandbank.org). Addendums to this bid proposal may be found at the GCLBA website at [www.thelandbank.org](http://www.thelandbank.org) under the tab current bids. Please check the website for updates to this bid package.



## CERTIFICATION FORM NOTE

THIS PAGE MUST BE COMPLETED AND INCLUDED WITH THE SUBMITTAL CERTIFICATION

The undersigned hereby certifies, on behalf of the Respondent named in this Certification (the "Respondent"), that the information provided in this bid submittal to GCLBA is accurate and complete, and I am duly authorized to submit same. I hereby certify that the Respondent has reviewed this bid proposal in its entirety and accepts its terms and conditions.

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(Name of Respondent)

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(Signature of Authorized Representative)

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(Typed Name of Authorized Representative)

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(Title)

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(Date)



## DEMONSTRATION OF CAPACITY

**Company Name:** \_\_\_\_\_

### **Statement of Experience**

Years of Experience: \_\_\_\_\_

### **Proposed Plans for Performing the Work**

Date contractor can begin work: \_\_\_\_\_

Date Contractor can complete work by: \_\_\_\_\_

### **Equipment Available**

I certify that I have the necessary equipment available in order to complete the work outlined in this bid and accompanying specifications.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Contractor Name (please print)

\_\_\_\_\_  
Contractor Signature





## CERTIFICATION FORM OF BUSINESS ENTERPRISE STATUS

**Company Name:** \_\_\_\_\_

**Business Enterprise Status:**

Check all that apply: MBE \_\_\_\_\_ WBE \_\_\_\_\_ SBE \_\_\_\_\_  
LBE \_\_\_\_\_ DVBE \_\_\_\_\_ OBE \_\_\_\_\_

**Ethnicity of Owner (s):**

Check all that apply: White \_\_\_\_\_ Black \_\_\_\_\_ Hispanic \_\_\_\_\_  
Asian \_\_\_\_\_ Native American \_\_\_\_\_

I undersigned, certify the above information to be accurate and is satisfied that the above company meets the requirements for self-certification as an MBE, WBE, SBE, LBE, DVBE, and/or OBE.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Contractor Name (please print)

\_\_\_\_\_  
Contractor Signature



## **Explanation of Business Enterprise Status**

A Minority Business Enterprise (MBE) is a business entity which is at least 51% owned by one or more minorities who are citizens or lawful permanent residents of the United States and a member of a recognized ethnic or racial group.

A Women Business Enterprise (WBE) is a business entity at least 51% owned by one or more women who are citizens or lawful permanent residents of the United States.

An Other Business Enterprise (OBE) is any business which does not otherwise qualify as a Minority or Women Business Enterprise.

A Small Business Enterprise (SBE) is an independently owned and operated business; with 50 or fewer employees and net profits of 100,000 or less.

A Local Business Enterprise (LBE) is a business entity whose principal place of business is located within the boundaries of Genesee County.

A Disabled Veteran Business Enterprise (DVBE) is a business concern certified by the administering agency as meeting all of the following: 1) a veteran of the military, naval, or air service of the United States with a service-connected disability of at least 10 percent, and who is also a resident of California, 2) one or more disabled veterans own 51% percent of the firm, 3) the management and control of the daily business operations are by one or more disabled veterans, and 4) it is a sole proprietorship corporation or partnership with its home office located in the United States and is not a subsidiary of a foreign firm.

## SUBCONTRACTOR INFORMATION FORM

Please provide the following information requested below on your mechanical, electrical and plumbing subcontractors for GCLBA to check the: 1) HUD Funding Disqualifications Limited Denial of Participation, HUD Funding Disqualifications and Voluntary Abstentions list and the 2) Excluded Parties List System. Is general contractor is self-performing these items please indicate it on this list.

### **Mechanical Subcontractor**

Firm Name: \_\_\_\_\_

Owner(s) Name(s): \_\_\_\_\_

Address, City, State, Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_

### **Electrical Subcontractor**

Firm Name: \_\_\_\_\_

Owner(s) Name(s): \_\_\_\_\_

Address, City, State, Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_

### **Plumbing Subcontractor**

Firm Name: \_\_\_\_\_

Owner(s) Name(s): \_\_\_\_\_

Address, City, State, Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_



## CONTRACTOR BID FORM

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**Owner Name:** Genesee County Land Bank Authority

**Contact Person/ Spec Writer:** Kyle Stottmeister

**Contact Phone Number:** (810) 257-3088 ext. 533

**Contact Email:** [kstottmeister@thelandbank.org](mailto:kstottmeister@thelandbank.org)

**Bid Submission Deadline Date:** Monday, May 14, 2012 before 3:00 pm

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**Property Address:** 924 Eddy St., Flint, MI 48502

**Bid Offer as per  
Attached Specifications \$** \_\_\_\_\_

**Contractor Name:** \_\_\_\_\_

**Contractor Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Contractor Address:** \_\_\_\_\_

**Contractor Phone:** \_\_\_\_\_

**Contractor Email:** \_\_\_\_\_

**Workers Comp  
Insurance Expires Date:** \_\_\_\_\_

**Liability  
Insurance Expires Date:** \_\_\_\_\_

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**Note:** Bid package includes one (1) set of specifications. One copy of the specifications must be completed and returned with this bid form that must be line priced in clearly legible numbers (ink or typewritten)



### **Section 3 Certification Process in the City of Flint**

GCLBA follows the City of Flint's Section 3 Certification Process for the NSP 2 Program. If the contractor does not have Section 3 Certification at time of bid submission, the contractor must submit a letter stating compliance with Section 3 Certification will be achieved within 10 days of receiving contract award.

The City of Flint has strengthened the HUD requirements for Section 3. Section 3 Residents must live in the City of Flint to qualify for the GCLBA and City of Flint NSP 2 - Section 3 Program. The City of Flint has built a partnership with Mott Workforce Development to assist with certification of Section 3 Residents and Mott Workforce Development has a list of eligible Section 3 workers that the General Contractor can connect with for assistance in meeting Section 3 requirements. There is currently over 300 Section 3 Residents Certified through Mott Workforce Development with various skill sets in construction related fields.

### **Section 3 Business Certification**

Please contact Melanie Poisson from the City of Flint Department of Community and Economic Development (810) 766-7436 or [mpoisson@cityofflint.com](mailto:mpoisson@cityofflint.com) for information regarding company Section 3 Certification.

### **Section 3 Residents Certification**

Mott Community College Workforce Development can provide assistance with employee and laborer Section 3 Certifications. Please contact Dorian Jackson, Job Development Specialist (810) 232-2548 or [dorian.jackson@mcc.edu](mailto:dorian.jackson@mcc.edu) or Kathleen Levallier, Job Development Specialist (810) 232-4674 or [kathleen.levallier@mcc.edu](mailto:kathleen.levallier@mcc.edu) for more information.

### **Attachments**

The following documents are attached in order to help meet the Section 3 requirements:

- a. Section 3 Clause
- b. City of Flint – Section 3 Plan Addendum
- c. Certification for Business Concerns Seeking Section 3 Preference in Contracting and Demonstration of Capability
- d. Resident Employment Opportunity Data

# SPECS BY LOCATION/TRADE

4/13/2012

Bidding Open Date: \_\_\_\_\_  
 Bidding Close Date: \_\_\_\_\_  
 Initial: \_\_\_\_\_

Case Number: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Phone: \_\_\_\_\_

**Address: 924 Eddy** **Unit: General Conditions**

**Location: 1 - General Conditions** Approx. Wall SF: 0      Ceiling/Floor SF: 0

| Spec #          | Spec  | Quantity | Units | Unit Price | Total Price |
|-----------------|---|----------|-------|------------|-------------|
| <b>Trade: 1</b> | <b>General Requirements</b>   |          |       |            |             |
| 24              | <b>MANUFACTURER'S SPECS PREVAIL</b><br>All materials shall be installed in full accordance with the manufacturer's specifications for working conditions, surface preparation, methods, protection and testing.   | 1.00     | GR    | n/a        | n/a         |
| 32              | <b>SUBSTITUTION APPROVAL PROCESS</b><br>Any requests for substitutions of specified proprietary items must accompany the initial proposal and shall include: the manufacturer's specifications; full installation instructions and warranties. The agency and owner will notify the contractor of decision at contract award.   | 1.00     | GR    | n/a        | n/a         |
| 35              | <b>VERIFY QUANTITIES/MEASUREMENTS</b><br>All measurements (i.e SF of Drywall, or those provided w/ drawings) are for the contractor's convenience prior to a mandatory site inspection to verify all dimensions. All quantities (i.e.number of window units) are as stated. No claim for additional funds due to discrepancies in measurements or quantities shall be honored if not submitted at the time of the initial proposal. | 1.00     | GR    | n/a        | n/a         |
| 36              | <b>BUILDING PERMIT REQUIRED</b><br>The contractor is responsible for submitting this owner-prepared work write up to the building department, applying for, paying for and receiving a building permit prior to starting any work.  | 1.00     | EA    | _____      | _____       |
| 37              | <b>ELECTRICAL PERMIT REQUIRED</b><br>Prior to the start of work, the contractor shall create any documentation necessary to apply for, pay for and receive an electrical permit on behalf of the owner.   | 1.00     | EA    | _____      | _____       |
| 38              | <b>PLUMBING PERMIT REQUIRED</b><br>Prior to the start of work, the contractor shall: create a riser diagram, septic layout and all other documentation needed to apply for, pay for and receive a plumbing permit on behalf of the owner.   | 1.00     | EA    | _____      | _____       |
| 39              | <b>HVAC PERMIT REQUIRED</b><br>Prior to the start of the heating/cooling work, the contractor shall create a heating distribution layout and perform heat/cooling loss calculations and all other documentation needed to apply for, pay for and receive an HVAC permit on behalf of the owner.   | 1.00     | EA    | _____      | _____       |
| 42              | <b>CERTIFICATE OF OCCUPANCY</b><br>Prior to final payment, the contractor shall comply with and complete all items necessary to receive a Certificate of Occupancy for the individual dwelling unit.  | 1.00     | EA    | n/a        | n/a         |
| 90              | <b>1 YEAR GENERAL WARRANTY</b><br>Contractor shall remedy any defect due to faulty material or  | 1.00     | DU    | n/a        | n/a         |

Location: 1 - General Conditions

Approx. Wall SF: 0

Ceiling/Floor SF: 0

| Spec #                               | Spec  | Quantity | Units | Unit Price | Total Price |
|--------------------------------------|---|----------|-------|------------|-------------|
| <b>Trade: 1 General Requirements</b> |   |          |       |            |             |
|                                      | workmanship and pay for all damage to other work resulting therefrom, which appear within one year from final payment. Further, contractor shall furnish owner (the Land Bank) with all manufacturers' and suppliers' written warranties covering items furnished under this contract prior to release of the final payment.  |          |       |            |             |
| 93                                   | <b>BID AND PERFORMANCE BOND IN COMPLIANCE WITH REQUIREMENTS</b><br>Prior to commencing work, contractor shall provide owner with a bond written on the AIA form for 100% of the contract, callable in the event of either non- performance or non-payment.  | 1.00     | M     | _____      | _____       |
| <b>Trade: 9 Environmental Rehab</b>  |   |          |       |            |             |
| 9007                                 | <b>CLEAN TO LEAD CLEARANCE</b><br>Prior to final acceptance of the lead hazard reduction work and all rehabilitation work, the property shall be visually inspected for any remaining paint chips, dust and debris and lead dust wipe samples shall be obtained from floors, windows sills and window troughs. The contractor shall re-clean (Using the HEPA/wash/HEPA method) all applicable components and surfaces and pay for all additional clearance dust sampling if any dust sample results exceedd the thresholds of 40 ug/SF for floors, 250 ug/Sf for window sills and 400 ug/SF for window troughs.<br>Abate all hazards identified on the hazard report for the interior of the structure.   | 2,860.00 | SF    | _____      | _____       |
| <b>Trade: 16 Conservation</b>        |   |          |       |            |             |
| 299                                  | <b>FOLLOW LEED GUIDELINES</b><br>As a part of the LEED program there are several additional requirements that need to be met.<br>1. Trash needs to be separated into recyclables and non recyclables and tracked for certification purposes (all plastics, metals, wood, etc, need to be placed in seperate containers).<br>2. Materials need to be certified from local suppliers as much as possible (local meaning harvested or manufactured within 500 miles of the job site).<br>3. There will be a day long training with the contractor and the LEED representative after the contract is awarded in order for the certification to be awarded.<br>4. Most materials will be recycled on this project (Materials will only be thrown away if there is no possible way to reuse them on site - recycling needs to be documented and tracked)<br>5. Pictures are going to be required for documentation (Contractor needs to be willing to provide digital pictures of materials and procedures throughout the process)<br>6. Any framing needs to follow "efficiency framing standards" (OVE standards are required for LEED) | 1.00     | AL    | _____      | _____       |
| <b>Trade: 22 Plumbing</b>            |   |          |       |            |             |
| 6693                                 | <b>WATER LINE</b>   | 3.00     | AL    | _____      | _____       |

**Address: 924 Eddy** **Unit: General Conditions**

**Location: 1 - General Conditions** Approx. Wall SF: 0 Ceiling/Floor SF: 0

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 22 Plumbing**

Coordinate with the City of Flint water department to add 3 water lines from the city main to the house (one per unit) complete with standpipe, riser, check & waste valve, and meter. Include repairs to landscape and new grass seed.

**Location Total:** \_\_\_\_\_

**Unit Total for 924 Eddy , Unit General Conditions:** \_\_\_\_\_

**Address: 924 Eddy** **Unit: Interior**

**Location: 1 - Interior** Approx. Wall SF: 992 Ceiling/Floor SF: 925

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 10 Carpentry**

|             |                             |          |    |       |       |
|-------------|-----------------------------|----------|----|-------|-------|
| <b>2350</b> | <b>FLOOR--REFINISH WOOD</b> | 1,120.00 | SF | _____ | _____ |
|-------------|-----------------------------|----------|----|-------|-------|

Drum sand and edge floor. Counter sink all nails and fill holes. Vacuum and tack rag room. Apply a sanding sealer and two coats of oil based polyurethane varnish. Vacuum room. Repair any damaged or missing sections including, but not limited to, area where walls were removed and areas under old steam registers.

Refinish wood in Classroom space, common area, and Apartment 2 - 2nd bedroom.

|             |  |      |    |       |       |
|-------------|--|------|----|-------|-------|
| <b>3185</b> | <b>DOOR--PREHUNG SOLID WOOD ENTRANCE</b> | 3.00 | EA | _____ | _____ |
|-------------|--|------|----|-------|-------|

Install a prehung solid core, wood, entrance door with steel jamb and threshold, one entrance and one mortised deadbolt keyed alike (Schlage, brass finish or approved equivalent - all keyed differently) to each of the two residential units main entry. All doors should be 20 minute fire rated with certification tag accessible. Prime and top coat.

Install in main entrance of each of 3 units. (36" in residential units, 48" in University space entrance)

|             |                                 |          |    |       |       |
|-------------|---------------------------------|----------|----|-------|-------|
| <b>4025</b> | <b>TRIM ALLOWANCE--INTERIOR</b> | 2,860.00 | SF | _____ | _____ |
|-------------|---------------------------------|----------|----|-------|-------|

Trim house with 1x8 pine base and 1x4 pine casing (route exposed edge of trim with 1/4" roundover bit). Install pine 2 panel solid core doors to all rooms with matching closet doors (Doors will be Jeld-wen, 1 3/8" Continental model or approved equivalent)

Available by special order through Michigan Lumber. All closets will have chrome plated, steel closet rod and wood shelf. Door hardware will be Schlage brass passage sets w/ privacy sets on bedrooms and bathroom. Include extension jambs as needed on windows and doors.

|               |                |          |    |       |       |
|---------------|----------------|----------|----|-------|-------|
| <b>Custom</b> | <b>FRAMING</b> | 2,860.00 | AL | _____ | _____ |
|---------------|----------------|----------|----|-------|-------|

Demo walls as specified in demo print (include basement - walls and ceiling). Build new walls where required by print. Include headers and beams per print and to meet code. Frame new interior staircases. Use OVE framing practices for LEED certification.



Location: 1 - Interior

Approx. Wall SF: 992

Ceiling/Floor SF: 925

| Spec #           | Spec  | Quantity  | Units | Unit Price | Total Price |
|------------------|---|-----------|-------|------------|-------------|
| <b>Trade: 10</b> | <b>Carpentry</b>  |           |       |            |             |
|                  | <p>Include new headers over windows and load bearing doors.<br/>           Replace damaged or insufficient joist (Replace all second floor ceiling joist with appropriately sized lumber), repair roof framing where necessary and include extra framing for future solar panel installation (see print). Repair anything necessary to pass framing inspection.</p> <p>Install new support beams (6" steel and LVL) where specified according to print.<br/>           Install new 2 x 8 support joists where specified by print.<br/>           Install new support stanchions to existing support beam in basement. Include stanchion pads if necessary.<br/>           Include fire wall in attic to sheeting.</p>                             |           |       |            |             |
| <b>Trade: 16</b> | <b>Conservation</b>   |           |       |            |             |
| <b>4908</b>      | <b>WALL INSULATION--DENSE PACK CELULOSE--GCI</b>  | 1.00      | AL    | _____      | _____       |
|                  | <p>After installing netting. Install blow in borax treated (no ammonium sulfate permitted), cellulose insulation per manufacturer's specifications and dense-packed into all specified wall cavities to a minimum density of 3.5 Lbs. per Cubic Foot for the entire cavity. Check each stud cavity for blocking and other obstructions prior to blowing. In balloon framed houses insure that blown cellulose is blocked from entering floor cavities such as 2nd floor floors.</p>   |           |       |            |             |
| <b>4997</b>      | <b>INSULATE WALLS--FOAM BOARD</b>   | 3,880.00  | SF    | _____      | _____       |
|                  | <p>After Air Sealing is complete, carefully install Dow THERMAX™ (or approved equivalent) board along the entire perimeter of the exterior (main floor) and interior (2nd floor) of the building from floor to ceiling. Fasten the straight runs with construction-grade Polyurethane Adhesive (Low V.O.C.) and tack in place with mechanical fasteners. Seal all seams between foam boards with THERMAX™ aluminum foil or white foil tape. Seal the edges of the foam boards to all adjoining flooring, joists, masonry and sill plates with a Low VOC caulk. Carefully trim and fit foam boards around penetrations and seal with caulk as stated above.</p> <p>Foam board should be 1" thick to bring walls to R-19 with blown insulation.</p> |           |       |            |             |
| <b>Trade: 17</b> | <b>Drywall &amp; Plaster</b>  |           |       |            |             |
| <b>5270</b>      | <b>DRYWALL</b>  | 15,444.00 | SF    | _____      | _____       |
|                  | <p>Hang, tape and 3 coat finish 1/2" drywall. Screw 8" on center. Run boards with long dimension horizontal. Finish and sand ready for paint.</p> <p>Adhesive must be low V.O.C. - photo documentation is required.</p> <p>Drywall entire house. Include storage compartments in basement and fire wall in attic.</p> <p>There is one section in the University Classroom space that will be cut-away with plexiglass over the insulation to show cross section of energy efficient elements.</p>   |           |       |            |             |

Location: 1 - Interior

Approx. Wall SF: 992

Ceiling/Floor SF: 925

| Spec #                                 | Spec  | Quantity | Units | Unit Price | Total Price |
|--|---|----------|-------|------------|-------------|
| <b>Trade: 19 Paint &amp; Wallpaper</b> |   |          |       |            |             |
| 5566                                   | <b>PREP &amp; PAINT HOUSE (INTERIOR)</b><br>Remove/cover all hardware, fixtures not to be painted. Clean all surfaces. Prime and top coat trim, ceiling, walls, doors & windows with owner's choice of premixed latex. Ceilings will be flat white, trim will be semi-gloss white, and walls will be owner's choice of color. Include closets in color scheme (not just white). Must use low V.O.C. paint and caulk. Must have photo documentation of materials.  | 2,860.00 | SF    | _____      | _____       |
| <b>Trade: 20 Floor Coverings</b>       |   |          |       |            |             |
| 5930                                   | <b>UNDERLAY &amp; VINYL SHEET GOODS</b><br>Install 1/4" underlayment , using 7d screw shank or cement coated nails, or narrow crown staples, 6" on center allowing a 1/4" gap at wall. Install 070" thick, backed vinyl sheet goods w/ minimum seams, per manufact. recommendations. Caulk edges of vinyl w/clear silicone caulk to create positive seal. Install metal edge strips in openings & shoe molding. \$15 material allowance for vinyl. Adhesive must be low V.O.C. - photo documentation is required.<br>Armstrong Solarium sheet vinyl. Color and finish to be chosen by the Land Bank.<br>Apply to Kitchens, Dining Rooms, laundry rooms, basement landing, and Bathrooms | 500.00   | SF    | _____      | _____       |
| 5970                                   | <b>CARPET AND PAD</b><br>Install FHA approved, nylon, plush carpet over a 1/2" medium density rebond pad w/ a minimum of seams (one or fewer). Stretch carpet to eliminate puckers, scallops & ripples. Include tackless strips, metal edge strips, and mending tape to cover entire floor including closets. Carpet and pad material allowance \$20/sy. Carpet must be certified E.P.P. (Environmentally Preferred Product)<br>Both residential units (except bathrooms, kitchens, and laundry areas), include stairs. Color and texture to be determined by the Land Bank.  | 160.00   | SY    | _____      | _____       |
| <b>Trade: 23 Electric</b>              |   |          |       |            |             |
| 8120                                   | <b>REWIRE HOUSE--ALLOWANCE</b><br>Replace existing electrical service with 3- residential 200 amp, single phase, 3 wire electric services. Include a main disconnect, 22 circuit panel board (Breaker shall be labelled by room function or breaker function), meter socket, weather head, service cable, and ground rod and cable. Seal exterior service penetration.<br>Rewire entire house - use no existing wiring or componants. See drawing for placement of outlets, switches and finish fixtures. Need separate circuit for laundry room, furnace, bathroom, and 3 circuits in kitchen. Include all GFCI's in kitchen, bath, basement as required by code.                      | 2,860.00 | AL    | _____      | _____       |

**Address: 924 Eddy** **Unit: Interior**

**Location: 1 - Interior** Approx. Wall SF: 992 Ceiling/Floor SF: 925

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 23 Electric**

Include hard wired smoke detectors and a carbon monoxide detector.  
Land Bank will pick all lights (Ceiling fans in bedrooms and living room, vanity lights and exhaust fans(vented to exterior) in bathrooms, etc.) See print for locations of all lights. (\$1500 fixture allowance per residential unit, \$2,000 fixture allowance for University space)

**Trade: 27 Fire Protection**

|             |  |      |    |       |       |
|-------------|--|------|----|-------|-------|
| <b>8750</b> | <b>INSTALL WET SPRINKLER SYSTEM - NFPA 13 SYSTEM</b> | 1.00 | EA | _____ | _____ |
|-------------|--|------|----|-------|-------|

Design, receive approval for and install a wet pipe sprinkler system on all floors (including basement). System to include fire department connection, sprinkler heads and piping, gauges, valves, alarms, check valves, retard chamber, and excess pressure pump.  
Include water line from city water if necessary (may need to come from Crapo St.).

**Trade: 1200 Furnishings (CSI)**

|               |                                  |       |    |       |       |
|---------------|----------------------------------|-------|----|-------|-------|
| <b>C12500</b> | <b>INSTALL WINDOW TREATMENTS</b> | 56.00 | EA | _____ | _____ |
|---------------|----------------------------------|-------|----|-------|-------|

Install window treatments in all windows. Owner will pick treatments (\$25 material allowance for standard windows, \$50 for windows over 5' wide).

**Location Total:** \_\_\_\_\_

**Unit Total for 924 Eddy , Unit Interior:** \_\_\_\_\_

**Address: 924 Eddy** **Unit: Classroom**

**Location: 1 - Assembly Space** Approx. Wall SF: 1,116 Ceiling/Floor SF: 736

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 7 Masonry**

|             |                                    |      |    |       |       |
|-------------|------------------------------------|------|----|-------|-------|
| <b>1375</b> | <b>CHIMNEY-REPLACE FLUE/DAMPER</b> | 1.00 | EA | _____ | _____ |
|-------------|------------------------------------|------|----|-------|-------|

Replace missing or damaged damper. Include appropriate weather stripping, chain, fasteners to insure proper operation.

**Location Total:** \_\_\_\_\_

**Location: 2 - Kitchen** Approx. Wall SF: 378 Ceiling/Floor SF: 90

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 10 Carpentry**

|             |                           |       |    |       |       |
|-------------|---------------------------|-------|----|-------|-------|
| <b>3715</b> | <b>CABINET--WOOD BASE</b> | 17.00 | LF | _____ | _____ |
|-------------|---------------------------|-------|----|-------|-------|

Address: 924 Eddy

Unit: Classroom

Location: 2 - Kitchen

Approx. Wall SF: 378

Ceiling/Floor SF: 90

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

Trade: 10 Carpentry

Replace base cabinets. Install base cabinet with doors of solid oak or maple. Cabinet will have solid oak or maple stiles, 1/2" veneered particle board sides and metal or plastic corner bracing. Drawers shall be made of wood or composition material. Cabinets will have pulls or knobs and will match the finish on the faucet.

Cabinets will be from "re-purposed wood" Available from "Against the Grain" in Lansing Contact Jay Bellos - (517) 202-9708

Sink base will be ADA accessible and sized to fit a 42" triple sink

Leave room for dishwasher. Land Bank will supply appliance, contractor will install

|      |                           |       |    |       |       |
|------|---------------------------|-------|----|-------|-------|
| 3725 | <b>CABINET--WOOD WALL</b> | 14.00 | LF | _____ | _____ |
|------|---------------------------|-------|----|-------|-------|

Replace wall cabinets. Field measure and screw to studs, level and plumb, kitchen wall cabinet. Door to be solid wood. Frame to have solid wood stiles, 1/2" particle board sides, metal or plastic corner bracing. Cabinets will have pulls or knobs and will match the finish on the faucet.

Cabinets will be from "re-purposed wood" Available from "Against the Grain" in Lansing Contact Jay Bellos - (517) 202-9708

Leave room for microwave/range hood. Land Bank will supply appliance, contractor will install (include outlet in upper cabinet)>

|      |                                      |      |    |       |       |
|------|--------------------------------------|------|----|-------|-------|
| 3750 | <b>COUNTER TOP--PLASTIC LAMINATE</b> | 9.00 | LF | _____ | _____ |
|------|--------------------------------------|------|----|-------|-------|

Dispose of counter top. Field measure and manufacture a plastic laminate counter top, glued to particle board designed for this purpose. Provide cutout for sink. Laminate will be Nevamar or approved equivalent in owner's choice of color.

Trade: 22 Plumbing

|      |  |      |    |       |       |
|------|--|------|----|-------|-------|
| 6835 | <b>SINK--TRIPLE BOWL COMPLETE--GCI</b> | 1.00 | EA | _____ | _____ |
|------|--|------|----|-------|-------|

Install a 22 gauge 42" x 22" x 8" triple bowl, stainless steel, self rimming kitchen sink including a Delta "Cicera" single handle faucet - model #468-SSSD-DST - brushed stainless finish (or approved equivalent), trap, supply lines, shut-off valves & escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered & all PVC fittings glued.

Location Total: \_\_\_\_\_

Location: 3 - Bathroom 1

Approx. Wall SF: 270

Ceiling/Floor SF: 56

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

Trade: 10 Carpentry

|      |                  |      |    |       |       |
|------|------------------|------|----|-------|-------|
| 3810 | <b>GRAB BARS</b> | 2.00 | EA | _____ | _____ |
|------|------------------|------|----|-------|-------|

Install a 16" chrome plated steel grab bar, screwed securely to 2 x 4 backers (installed prior to drywall).

See print for location.

Address: 924 Eddy

Unit: Classroom

Location: 3 - Bathroom 1

Approx. Wall SF: 270

Ceiling/Floor SF: 56

| Spec #    | Spec      | Quantity | Units | Unit Price | Total Price |
|-----------|-----------|----------|-------|------------|-------------|
| Trade: 10 | Carpentry |          |       |            |             |

|      |  |      |    |       |       |
|------|--|------|----|-------|-------|
| 3820 | <b>PAPER TOWEL AND TOILET PAPER DISPENSER</b><br>Install a commercial paper towel (Georgia Pacific Sofpull - Center Pull Towel Dispenser - Smoke Gray) and toilet paper dispenser (GEORGIA PACIFIC 9" Jumbo Toilet Paper Dispenser 58050 ROLLSAVR) | 1.00 | EA | _____ | _____ |
| 3832 | <b>BATH MIRROR</b><br>Install beveled edge mirror sized at the width of vanity by 36" high.  | 1.00 | SF | _____ | _____ |

Trade: 22 Plumbing

|      |   |      |    |       |       |
|------|---|------|----|-------|-------|
| 6900 | <b>SINK--24" COMPLETE</b><br>Install a 24" sink complete with Delta, single handle lav. faucet, supply risers, shut-off valves and all required waste connectors to complete the installation. Must meet ADA requirements (no cabinet).<br>See print for location and height.<br>Land Bank will provide Lav. Faucet.  | 1.00 | EA | _____ | _____ |
| 7014 | <b>COMMODO--REPLACE--Dual Flush--2008 GCI</b><br>Install a "Dual Flush," 2 piece, close coupled, white, vitreous china commode with flow rates of 1.6 and .9 GPF for its respective high and low flushes, such as a TOTO Aquia CST414M Elongated Front, Dual Flush commode Toilet Kit<br>Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal.<br>Must be EPA "Water Sense" certified. | 1.00 | EA | _____ | _____ |

Location Total: \_\_\_\_\_

Location: 4 - Bathroom 2

Approx. Wall SF: 270

Ceiling/Floor SF: 56

| Spec #    | Spec      | Quantity | Units | Unit Price | Total Price |
|-----------|-----------|----------|-------|------------|-------------|
| Trade: 10 | Carpentry |          |       |            |             |

|      |  |      |    |       |       |
|------|--|------|----|-------|-------|
| 3810 | <b>GRAB BARS</b><br>Install a 16" chrome plated steel grab bar, screwed securely to 2 x 4 backers (installed prior to drywall).<br>See print for location.   | 2.00 | EA | _____ | _____ |
| 3820 | <b>PAPER TOWEL AND TOILET PAPER DISPENSER</b><br>Install a commercial paper towel (Georgia Pacific Sofpull - Center Pull Towel Dispenser - Smoke Gray) and toilet paper dispenser (GEORGIA PACIFIC 9" Jumbo Toilet Paper Dispenser 58050 ROLLSAVR) | 1.00 | EA | _____ | _____ |
| 3832 | <b>BATH MIRROR</b><br>Install beveled edge mirror sized at the width of vanity by 36" high.  | 1.00 | SF | _____ | _____ |

**Address: 924 Eddy** **Unit: Classroom**

**Location: 4 - Bathroom 2** Approx. Wall SF: 270 Ceiling/Floor SF: 56

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 22 Plumbing**

|             |  |      |    |       |       |
|-------------|--|------|----|-------|-------|
| <b>6900</b> | <b>SINK--24" COMPLETE</b><br>Install a 24" sink complete with Delta, single handle lave. faucet, supply risers, shut-off valves and all required waste connectors to complete the installation. Must meet ADA requirements (no cabinet).<br>See print for location and height.<br>Land Bank will provide Lav. Faucet.  | 1.00 | EA | _____ | _____ |
| <b>7014</b> | <b>COMMODOE--REPLACE--Dual Flush--2008 GCI</b><br>Install a "Dual Flush," 2 piece, close coupled, white, vitreous china commode with flow rates of 1.6 and .9 GPF for its respective high and low flushes, such as a TOTO Aquia CST414M Elongated Front, Dual Flush commode Toilet Kit<br>Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal.<br>Must be EPA "Water Sense" certified. | 1.00 | EA | _____ | _____ |

**Location Total:** \_\_\_\_\_

**Unit Total for 924 Eddy , Unit Classroom :** \_\_\_\_\_

**Address: 924 Eddy** **Unit: Common Area**

**Location: 1 - Staircase** Approx. Wall SF: 362 Ceiling/Floor SF: 40

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 10 Carpentry**

|             |   |      |    |       |       |
|-------------|---|------|----|-------|-------|
| <b>2525</b> | <b>HAND RAIL WITH BALUSTERS</b><br>Install oak handrail and newel post, and oak turned balusters 5" on center.<br>Stain to match existing trim and coat with 2 coats of polyurethane. Sand between coats.   | 4.00 | LF | _____ | _____ |
| <b>2535</b> | <b>STAIRCASE--INTERIOR CLOSED</b><br>Remove closed staircase and dispose of in code legal dump. Double all headers with 2" stock. Install staircase with oak treads, risers, and railing. Landing will be 3/4" t&g oak flooring. Apply 2 coats of finish to all exposed wood (match existing flooring). | 1.00 | FL | _____ | _____ |

**Location Total:** \_\_\_\_\_

**Location: 2 - Upstairs Hall** Approx. Wall SF: 510 Ceiling/Floor SF: 93

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 10 Carpentry**

|             |   |      |    |       |       |
|-------------|---|------|----|-------|-------|
| <b>3420</b> | <b>ATTIC ACCESS</b><br>Cut and frame an attic access hatch of 3/8" plywood. Trim with casing to match room, prime topcoat, weatherstrip with closed | 1.00 | EA | _____ | _____ |
|-------------|---|------|----|-------|-------|

**Address: 924 Eddy** **Unit: Common Area**

**Location: 2 - Upstairs Hall** Approx. Wall SF: 510 Ceiling/Floor SF: 93

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 10** **Carpentry**

cell foam and insulate with 1" closed cell polystyrene.  
24" x 30" in hall ceiling

**Location Total:** \_\_\_\_\_

**Location: 3 - Attic** Approx. Wall SF: 0 Ceiling/Floor SF: 1,200

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 16** **Conservation**

|             |   |          |    |       |       |
|-------------|---|----------|----|-------|-------|
| <b>4935</b> | <b>ATTIC R-49 CELLULOSE--GCI</b><br>Install blown- in insulation per manufacturer's specifications to R49. Maintain ventilation routes from soffit and other vents with baffles. Build curb around attic access if necessary. Insulate attic access with batt insulation. | 1,400.00 | SF | _____ | _____ |
|-------------|---|----------|----|-------|-------|

**Location Total:** \_\_\_\_\_

**Unit Total for 924 Eddy , Unit Common Area:** \_\_\_\_\_

**Address: 924 Eddy** **Unit: Apartment 1**

**Location: 1 - Kitchen** Approx. Wall SF: 508 Ceiling/Floor SF: 175

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

**Trade: 10** **Carpentry**

|             |  |       |    |       |       |
|-------------|--|-------|----|-------|-------|
| <b>3715</b> | <b>CABINET--WOOD BASE</b><br>Install base cabinet with doors of solid oak or maple. Cabinet will have solid oak or maple stiles, 1/2" veneered particle board sides and metal or plastic corner bracing. Drawers shall be made of wood or composition material. Cabinets will have pulls or knobs and will match the finish on the faucet. Cabinets will be from "re-purposed wood" Available from "Against the Grain" in Lansing Contact Jay Bellos - (517) 202-9708<br><br>Leave space for dishwasher. Contractor to install dishwasher (Land Bank will provide appliance) | 18.00 | LF | _____ | _____ |
|-------------|--|-------|----|-------|-------|

|             |  |      |    |       |       |
|-------------|--|------|----|-------|-------|
| <b>3725</b> | <b>CABINET--WOOD WALL</b><br>Replace wall cabinets. Field measure and screw to studs, level and plumb, kitchen wall cabinet. Door to be solid wood. Frame to have solid wood stiles, 1/2" particle board sides, metal or plastic corner bracing. Cabinets will have pulls or knobs and will match the finish on the faucet. Cabinets will be from "re-purposed wood" Available from "Against the Grain" in Lansing Contact Jay Bellos - (517) 202-9708<br><br>Install electrical outlet for microwave exhaust fan over oven for future installation. Constructor will install microwave (Land Bank will supply microwave). | 9.00 | LF | _____ | _____ |
|-------------|--|------|----|-------|-------|

Location: 1 - Kitchen

Approx. Wall SF: 508

Ceiling/Floor SF: 175

| Spec #                     | Spec   | Quantity | Units | Unit Price | Total Price |
|----------------------------|--|----------|-------|------------|-------------|
| <b>Trade: 10 Carpentry</b> |  |          |       |            |             |
| 3750                       | <b>COUNTER TOP--PLASTIC LAMINATE</b><br>Dispose of counter top. Field measure and manufacture a plastic laminate counter top, glued to particle board designed for this purpose. Provide cutout for sink. Land Bank will pick color and texture.   | 17.00    | LF    | _____      | _____       |
| <b>Trade: 22 Plumbing</b>  |  |          |       |            |             |
| 6835                       | <b>SINK--DOUBLE BOWL COMPLETE--GCI</b><br>Install a 22 gauge 33" x 22" x 8" double bowl, stainless steel, self rimming kitchen sink including a steel, metal body faucet, rated at 2.0 GPM or less, with a 15 year drip-free warranty, grease trap, supply lines, & escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered & all PVC fittings glued.<br>Land Bank will provide faucet - include installation only in quote. | 1.00     | EA    | _____      | _____       |
| <b>Location Total:</b>     |  |          |       |            | _____       |

Location: 2 - 1/2 Bath

Approx. Wall SF: 227

Ceiling/Floor SF: 37

| Spec #                     | Spec  | Quantity | Units | Unit Price | Total Price |
|----------------------------|---|----------|-------|------------|-------------|
| <b>Trade: 10 Carpentry</b> |   |          |       |            |             |
| 3820                       | <b>TOWEL SET-- 3-PIECE CHROME</b><br>Install a chrome plated steel bath set comprised of a soap dish, 24" towel bar and toilet paper holder.  | 1.00     | EA    | _____      | _____       |
| 3832                       | <b>BATH MIRROR</b><br>Install beveled edge mirror sized at the width of vanity by 36" high.   | 1.00     | SF    | _____      | _____       |
| <b>Trade: 22 Plumbing</b>  |   |          |       |            |             |
| 6901                       | <b>VANITY--30" COMPLETE</b><br>Install a 30" vanity complete with plywood cabinet, cultured marble top with built in sink, Delta, single handle (model #578-DST or approved equivalent), supply risers, shut-off valves and all required waste connectors to complete the installation.<br>Vanity to match manufacturerer, style, and finish of kitchen cabinets  | 1.00     | EA    | _____      | _____       |
| 7014                       | <b>COMMODO--REPLACE--Dual Flush--2008 GCI</b><br>Install a "Dual Flush," 2 piece, close coupled, white, vitreous china commode with flow rates of 1.6 and .9 GPF for its respective high and low flushes, such as a TOTO Aquia CST414M Elongated Front, Dual Flush commode Toilet Kit, or any commode tested through the latest "Maximum Performance" (MaP) testing. Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal.<br>Must be EPS "Water Sense" certified. | 1.00     | EA    | _____      | _____       |



Address: 924 Eddy

Unit: Apartment 1

Location: 2 - 1/2 Bath

Approx. Wall SF: 227

Ceiling/Floor SF: 37

| Spec #    | Spec     | Quantity | Units | Unit Price | Total Price |
|-----------|----------|----------|-------|------------|-------------|
| Trade: 22 | Plumbing |          |       |            |             |

Location Total: \_\_\_\_\_

Location: 3 - Living Room

Approx. Wall SF: 576

Ceiling/Floor SF: 252

| Spec #   | Spec    | Quantity | Units | Unit Price | Total Price |
|----------|---------|----------|-------|------------|-------------|
| Trade: 7 | Masonry |          |       |            |             |

Location Total: \_\_\_\_\_

|      |  |      |    |       |       |
|------|--|------|----|-------|-------|
| 1375 | <b>CHIMNEY-REPLACE FLUE/DAMPER</b><br>Replace missing or damaged damper. Include appropriate weather stripping, chain, fasteners to insure proper operation. | 1.00 | EA | _____ | _____ |
|------|--|------|----|-------|-------|

Location: 4 - Hall & Stairs

Approx. Wall SF: 432

Ceiling/Floor SF: 144

| Spec #    | Spec      | Quantity | Units | Unit Price | Total Price |
|-----------|-----------|----------|-------|------------|-------------|
| Trade: 10 | Carpentry |          |       |            |             |

|      |   |       |    |       |       |
|------|---|-------|----|-------|-------|
| 2520 | <b>HANDRAIL--REPLACE INTERIOR</b><br>Install 2" round hardwood handrail with braces screwed to studs and handrail. Paint with 2 coats of white semi-gloss interior latex paint, sanded between coats.   | 15.00 | LF | _____ | _____ |
| 2525 | <b>HAND RAIL WITH BALUSTERS</b><br>Install oak handrail and newel post, and oak turned balusters 5" on center.<br>Stain (honey oak) and coat with 2 coats of polyurethane.<br>Sand between coats.<br>Install from end of wall to edge of staircase - see print. | 5.00  | LF | _____ | _____ |

Trade: 21 HVAC

|      |   |      |    |       |       |
|------|---|------|----|-------|-------|
| 6415 | <b>DRYER VENT--GCI</b><br>Install 4" rigid galvanized vent tubing from the specified dryer location to a 4" wall mounted dryer vent hood with a back-flow preventer and NO screening. Do not fasten with nails, screws or other fasteners that protrude into the interior of the exhaust duct. Seal all seams in the system with duct mastic or aluminum foil tape, not duct tape. Secure duct and hood to framing. | 1.00 | EA | _____ | _____ |
|------|---|------|----|-------|-------|

Trade: 22 Plumbing

|      |   |      |    |       |       |
|------|---|------|----|-------|-------|
| 7120 | <b>DRIPLESS CENTER--WASHER HOOK UP</b><br>Install PVC stand pipe, hot and cold hose bibbs in a PVC wall box. Box should be flush mounted. Valve should be "single throw shutoff" to meet LEED requirements.<br>Install in upstairs hallway. | 1.00 | EA | _____ | _____ |
|------|---|------|----|-------|-------|

Location Total: \_\_\_\_\_

Location: 7 - Bathroom

Approx. Wall SF: 402

Ceiling/Floor SF: 95

| Spec #                       | Spec  | Quantity | Units | Unit Price | Total Price |
|------------------------------|---|----------|-------|------------|-------------|
| <b>Trade: 10 Carpentry</b>   |   |          |       |            |             |
| 3820                         | <b>TOWEL SET-- 3-PIECE CHROME</b><br>Install a chrome plated steel bath set comprised of a soap dish, 24" towel bar and toilet paper holder.  | 1.00     | EA    | _____      | _____       |
| 3832                         | <b>BATH MIRROR</b><br>Install beveled edge mirror sized at the width of vanity by 36" high.   | 1.00     | SF    | _____      | _____       |
| <b>Trade: 22 Plumbing</b>    |   |          |       |            |             |
| 6895                         | <b>VANITY -- 48" COMPLETE</b><br>Install a 48" vanity complete with plywood cabinet, cultured marble top, Delta, single handle (model #578-DST or approved equivalent), supply risers, shut-off valves and all required waste connectors to complete the installation. Vanity will match kitchen cabinets.  | 1.00     | EA    | _____      | _____       |
| 6958                         | <b>SHOWER--3' FIBERGLASS--Sterling</b><br>Install a 3', 4 piece, Kohler Sterling™, 36" x 36" x 72" Shower (or approved equivalent)- Complete Unit - <a href="http://www.sterlingplumbing.com/home.str1">http://www.sterlingplumbing.com/home.str1</a> - fiberglass shower unit complete with drain and PVC waste, single lever shower diverter, shower rod (Chrome) and shower valve or approved equivalent. Make sure it is anti-scald protected.<br>Land Bank will provide faucet - include installation only in quote.     | 1.00     | EA    | _____      | _____       |
| 7014                         | <b>COMMODO--REPLACE--Dual Flush--2008 GCI</b><br>Install a "Dual Flush," 2 piece, close coupled, white, vitreous china commode with flow rates of 1.6 and .9 GPF for its respective high and low flushes, such as a TOTO Aquia CST414M Elongated Front, Dual Flush commode Toilet Kit, or any commode tested through the latest "Maximum Performance" (MaP) testing. Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal.<br>Must be EPS "Water Sense" certified. | 1.00     | EA    | _____      | _____       |
| <b>Location Total:</b> _____ |   |          |       |            |             |

Unit Total for 924 Eddy , Unit Apartment 1: \_\_\_\_\_

Location: 1 - Kitchen

Approx. Wall SF: 368

Ceiling/Floor SF: 126

| Spec #                     | Spec   | Quantity | Units | Unit Price | Total Price |
|----------------------------|--|----------|-------|------------|-------------|
| <b>Trade: 10 Carpentry</b> |  |          |       |            |             |
| 3715                       | <b>CABINET--WOOD BASE</b><br>Replace base cabinets. Install base cabinet with doors of solid | 20.00    | LF    | _____      | _____       |

Location: 1 - Kitchen

Approx. Wall SF: 368

Ceiling/Floor SF: 126

| Spec #           | Spec  | Quantity | Units | Unit Price | Total Price |
|------------------|---|----------|-------|------------|-------------|
| <b>Trade: 10</b> | <b>Carpentry</b>  |          |       |            |             |
|                  | oak or maple. Cabinet will have solid oak or maple stiles, 1/2" veneered particle board sides and metal or plastic corner bracing. Drawers shall be made of wood or composition material. Cabinets will have pulls or knobs and will match the finish on the faucet.<br>Cabinets will be from "re-purposed wood"<br>Available from "Against the Grain" in Lansing<br>Contact Jay Bellos - (517) 202-9708<br>Leave room for dishwasher and run electric and plumbing for future installation. Contractor will install dishwasher, Land Bank to provide dishwasher. |          |       |            |             |
| <b>3725</b>      | <b>CABINET--WOOD WALL</b>   | 18.00    | LF    | _____      | _____       |
|                  | Replace wall cabinets. Field measure and screw to studs, level and plumb, kitchen wall cabinet. Door to be solid wood. Frame to have solid wood stiles, 1/2" particle board sides, metal or plastic corner bracing. Cabinets will have pulls or knobs and will match the finish on the faucet.<br>Cabinets will be from "re-purposed wood"<br>Available from "Against the Grain" in Lansing<br>Contact Jay Bellos - (517) 202-9708<br>Run electric for microwave dishwasher above the oven. Contractor will install microwave (Land Bank will furnish microwave). |          |       |            |             |
| <b>3750</b>      | <b>COUNTER TOP--PLASTIC LAMINATE</b>  | 26.00    | LF    | _____      | _____       |
|                  | Dispose of counter top. Field measure and manufacture a plastic laminate counter top, glued to particle board designed for this purpose. Provide cutout for sink. Laminate will be Nevamar or approved equivalent in owner's choice of color.   |          |       |            |             |

Trade: 22 Plumbing

|             |  |      |    |       |       |
|-------------|--|------|----|-------|-------|
| <b>6835</b> | <b>SINK--DOUBLE BOWL COMPLETE--GCI</b>   | 1.00 | EA | _____ | _____ |
|             | Install a 22 gauge 33" x 22" x 8" double bowl, stainless steel, self rimming kitchen sink including a steel, metal body faucet, rated at 2.0 GPM or less, with a 15 year drip-free warranty, grease trap, supply lines, include escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered & all PVC fittings glued.<br>Land bank will provide faucet - do not include material in quote. |      |    |       |       |

Location Total: \_\_\_\_\_

Location: 2 - Living Room

Approx. Wall SF: 448

Ceiling/Floor SF: 196

| Spec #          | Spec   | Quantity | Units | Unit Price | Total Price |
|-----------------|--|----------|-------|------------|-------------|
| <b>Trade: 7</b> | <b>Masonry</b>   |          |       |            |             |
| <b>1375</b>     | <b>CHIMNEY-REPLACE FLUE/DAMPER</b>   | 1.00     | EA    | _____      | _____       |
|                 | Replace missing or damaged damper. Include appropriate weather stripping, chain, fasteners to insure proper operation. |          |       |            |             |

Location Total: \_\_\_\_\_

Location: 3 - Bedroom 1

Approx. Wall SF: 474

Ceiling/Floor SF: 219

| Spec #           | Spec  | Quantity | Units | Unit Price | Total Price |
|------------------|---|----------|-------|------------|-------------|
| <b>Trade: 21</b> | <b>HVAC</b>   |          |       |            |             |
| 6415             | <b>DRYER VENT--GCI</b><br>Install 4" rigid galvanized vent tubing from the specified dryer location to a 4" wall mounted dryer vent hood with a back-flow preventer and NO screening. Do not fasten with nails, screws or other fasteners that protrude into the interior of the exhaust duct. Seal all seams in the system with duct mastic or aluminum foil tape, not duct tape. Secure duct and hood to framing. | 1.00     | EA    | _____      | _____       |

Trade: 22 Plumbing

|      |   |      |    |       |       |
|------|---|------|----|-------|-------|
| 7120 | <b>DRIPLESS CENTER--WASHER HOOK UP</b><br>Install PVC stand pipe, hot and cold hose bibbs in a PVC wall box. Box should be flush mounted. Valve should be "single throw shutoff" to meet LEED requirements.<br>Install in closet in bedroom. See print. | 1.00 | EA | _____ | _____ |
|------|---|------|----|-------|-------|

Location Total: \_\_\_\_\_

Location: 5 - Bathroom

Approx. Wall SF: 224

Ceiling/Floor SF: 45

| Spec #           | Spec   | Quantity | Units | Unit Price | Total Price |
|------------------|--|----------|-------|------------|-------------|
| <b>Trade: 10</b> | <b>Carpentry</b>   |          |       |            |             |
| 3820             | <b>TOWEL SET-- 3-PIECE CHROME</b><br>Install a chrome plated steel bath set comprised of a soap dish, 24" towel bar and toilet paper holder.                       | 1.00     | EA    | _____      | _____       |
| 3832             | <b>BATH MIRROR</b><br>Install beveled edge mirror sized at the width of vanity by 36" high. Use adhesive manufactured for this purpose and apply to sound backing. | 1.00     | SF    | _____      | _____       |

Trade: 22 Plumbing

|      |   |      |    |       |       |
|------|---|------|----|-------|-------|
| 6901 | <b>VANITY--30" COMPLETE</b><br>Install a 30" vanity complete with plywood cabinet, cultured marble top with built in sink, Delta, single handle brushed stainless steel finish, supply risers, shut-off valves and all required waste connectors to complete the installation. Vanity to match manufacturerer, style, and finish of kitchen cabinets<br>Land Bank will provide faucet - include installation only in quote. | 1.00 | EA | _____ | _____ |
| 6958 | <b>SHOWER--3' FIBERGLASS--Sterling</b><br>Install a 3', 4 piece, Kohler Sterling™, 36" x 30" x 72" - Complete Unit - fiberglass shower unit complete with drain and, PVC waste & trap, single lever shower diverter, shower rod and Delta Faucet "Monitor" Model 1343 tub/shower faucet - Model #BT14496 - SS (or approved equivalent).   | 1.00 | EA | _____ | _____ |

Address: 924 Eddy

Unit: Apartment 2

Location: 5 - Bathroom

Approx. Wall SF: 224

Ceiling/Floor SF: 45

| Spec #    | Spec            | Quantity | Units | Unit Price | Total Price |
|-----------|-----------------|----------|-------|------------|-------------|
| Trade: 22 | <b>Plumbing</b> |          |       |            |             |

Land Bank will provide faucet - include installation only in quote.

|      |   |      |    |       |       |
|------|---|------|----|-------|-------|
| 7014 | <b>COMMODE--REPLACE--Dual Flush--2008 GCI</b><br>Install a "Dual Flush," 2 piece, close coupled, white, vitreous china commode with flow rates of 1.6 and .9 GPF for its respective high and low flushes, such as a TOTO Aquia CST414M Elongated Front, Dual Flush commode Toilet Kit (or approved equivalent) Include a manufacturer's approved plastic or pressed wood white seat, supply pipe, shut-off valve, and wax seal.<br>Must be EPS "Water Sense" certified. | 1.00 | EA | _____ | _____ |
|------|---|------|----|-------|-------|

Location Total: \_\_\_\_\_

Unit Total for 924 Eddy , Unit Apartment 2: \_\_\_\_\_

Address: 924 Eddy

Unit: Basement

Location: 1 - Interior

Approx. Wall SF: 924

Ceiling/Floor SF: 1,080

| Spec #   | Spec                             | Quantity | Units | Unit Price | Total Price |
|----------|----------------------------------|----------|-------|------------|-------------|
| Trade: 5 | <b>Demolition &amp; Disposal</b> |          |       |            |             |

|     |  |      |    |       |       |
|-----|--|------|----|-------|-------|
| 746 | <b>DEMO CHIMNEY</b><br>Remove surplus masonry chimney by hand. After securing site and removing all potentially damaged vehicles, chisel bricks at mortar line to disassemble the chimney. Remove to basement. Repair roof and floors by framing hole and installing the appropriate thickness of OSB . Replace shingles with matching style and color.<br>Repair drywall as necessary<br>Remove chimney in center of house - leave side chimney for fireplace | 1.00 | EA | _____ | _____ |
|-----|--|------|----|-------|-------|

|          |                |  |  |  |  |
|----------|----------------|--|--|--|--|
| Trade: 7 | <b>Masonry</b> |  |  |  |  |
|----------|----------------|--|--|--|--|

|      |   |      |    |       |       |
|------|---|------|----|-------|-------|
| 1185 | <b>GLASS BLOCK WINDOW</b><br>Replace old basement window with premade glass block unit with 6"x 6"x 4" thick glass block. At least two windows on opposite sides of room should have operable vent. | 5.00 | EA | _____ | _____ |
|------|---|------|----|-------|-------|

|           |                  |  |  |  |  |
|-----------|------------------|--|--|--|--|
| Trade: 10 | <b>Carpentry</b> |  |  |  |  |
|-----------|------------------|--|--|--|--|

|      |  |      |    |       |       |
|------|--|------|----|-------|-------|
| 2455 | <b>BUILD STORAGE UNITS FOR TENNANTS</b><br>Frame a wall using 2"x4" studs 24" on center with single top and bottom plates. Build a storage space (size according to print). Drywall, finish, and paint inside and outside. Include light (with switch inside door), 1 outlet inside unit, one 30" prehung 6 panel hollow core door with locking brass knob (keyed to match unit door).<br>Each unit should be 10' x 10'. | 3.00 | EA | _____ | _____ |
|------|--|------|----|-------|-------|

Location: 1 - Interior

Approx. Wall SF: 924

Ceiling/Floor SF: 1,080

| Spec #                                 | Spec  | Quantity | Units | Unit Price | Total Price |
|--|---|----------|-------|------------|-------------|
| <b>Trade: 10 Carpentry</b>             |   |          |       |            |             |
| 2520                                   | <b>HANDRAIL--REPLACE INTERIOR</b><br>Install 2" round hardwood handrail with braces screwed to studs and handrail. Paint with 2 coats of white semi-gloss interior latex paint, sanded between coats.   | 15.00    | LF    | _____      | _____       |
| 3190                                   | <b>DOOR--CRAWL SPACE ACCESS</b><br>Install a 3/4" CDX plywood access door in a 2"x 4" preservative treated frame. Provide galvanized iron hinges and hasp. Duplicate existing style and design.   | 2.00     | EA    | _____      | _____       |
| <b>Trade: 16 Conservation</b>          |   |          |       |            |             |
| 4955                                   | <b>CONDITION--CRAWL SPACE</b><br>Lay 6 mil poly vapor barrier on ground in crawl space and 6" up foundation walls. Overlap seams by 2' and secure with duct tape.<br>Apply 1 1/2" foam board to exterior walls with adhesive. Run foam from ground to bottom of floor joists<br>Include all crawl spaces  | 350.00   | SF    | _____      | _____       |
| 4996                                   | <b>INSULATE RIM JOIST &amp; WALL - FOAM</b><br>After cleaning the area thoroughly, apply expanding foam to the rim joist and wall at the entire perimeter of the basement and/or crawl space exterior walls. Install to R 19 at a minimum. Use a foam product that meets International Residential Code (IRC), Section R314.5.11, and Underwriters Laboratories, Inc. (UL) classification Certificate R7813 such as Dow FROTH-PAK FS Foam or Handi-Foam Two Component E-84 Class 1 Foam. Insulate from the subfloor for the first floor to the basement or crawlspace floor, and seal all penetrations and the top of the foundation. Seal all openings within the area of the rim joist created by plumbing, gas lines, electrical boxes or any other penetrations.<br>Include fireproof coating on walls. Include crawl spaces. | 1.00     | AL    | _____      | _____       |
| <b>Trade: 19 Paint &amp; Wallpaper</b> |   |          |       |            |             |
| 5755                                   | <b>PREP &amp; PAINT CONCRETE FLOOR</b><br>Sweep clean entire floor. Clean with TSP and rinse thoroughly. Roll out one coat of owner's choice of premixed latex floor paint per manufacturer's recommendations.  | 1,080.00 | SF    | _____      | _____       |
| 5760                                   | <b>PREP &amp; PAINT WALL</b><br>Spot prime and top coat foam insulation with owner's choice of premixed acrylic latex based flat.   | 924.00   | SF    | _____      | _____       |
| <b>Trade: 21 HVAC</b>                  |   |          |       |            |             |
| 6055                                   | <b>GEOHERMAL FURNACE &amp; DUCT</b><br>Design and Install a geothermal, closed loop, heating and cooling system to existing building. (Closed Loop . 14.1 EER or . 3.3 COP; Direct Expansion . 15 EER or . 3.5 COP or Any type . 24 EER; . 4.3 COP)<br>Size furnace to the living unit considering any areas which may  | 1.00     | EA    | _____      | _____       |

| Spec #    | Spec | Quantity | Units | Unit Price | Total Price |
|-----------|------|----------|-------|------------|-------------|
| Trade: 21 | HVAC |          |       |            |             |

be added or subtracted from the plan (Include manual J and M calculations).

Remove existing furnace and dispose of all other materials in a code legal dump. FURNACE: install a geothermal system on 2" patio block complete with plenum, supply duct and galvanized return duct connected to wall registers, to service all rooms.

New furnace to be vented with PVC piping per manufacturer's specifications. New furnace will have minimum limited warranties of: 20 years on heat exchangers; 5 years on parts.

Include auto set back programmable, thermostat controls, vent pipe & new shut-off valve. Rework cold air return if necessary to ensure easy access, good fit & easy replacement of air filter.

An exterior return air filter box shall be installed on one side, both sides, or bottom of new furnace. Seal all exposed duct joints as a part of this item with Duct Mastic. Duct leakage test and refrigerant charge test are required for LEEDs - provide test results to Land Bank.

Wells will be drilled in vacant lot to the West (see print)

Location: 1 - Interior

Approx. Wall SF: 924

Ceiling/Floor SF: 1,080

| Spec #    | Spec | Quantity | Units | Unit Price | Total Price |
|-----------|------|----------|-------|------------|-------------|
| Trade: 21 | HVAC |          |       |            |             |

Move all vents and returns to walls.

Asbestos contractor will remove all contaminated ductwork.

4 zones will be required (one each for the apartments and university space, and one for the common area)

The following criteria should be followed

1. All design and installation work shall be in accordance with all published IGSHPA standards and recommendations.
2. All engineering and design work shall be done under the supervision of licensed professional engineer who is experienced in the design of both residential and commercial ground source heat pumps.
3. The ground loop installation work shall be done under the supervision of an IGSHPA certified installer.
4. Submit qualifications for design and installation personnel. Submit a list (five project minimum) of both residential and commercial ground source heat pump projects.
5. Provide water to air heat pumps heat pumps sized to meet at least 90% of the calculated peak heating load.
6. Load calculations shall include an infiltration air load of 0.30 air changes per hour.
7. Insulate all indoor piping and fittings to prevent condensation.
8. Install heat pumps per all of the manufacturer's recommendations.
9. Provide a five year warranty on all parts and labor for the entire geothermal system.
10. Heat pump selections and ground loop sizing shall be based on a Manual J load calculations. The design build firm shall submit sizing calculations to the owner.
11. Provide submittals for all equipment and materials prior to ordering, fabricating, or installing.
12. Should a vertical ground loop be provided all work shall be done in accordance with the Michigan DNRE best practices document published in April 2010.
13. The indoor winter design temperature shall be 70 degrees F when the outdoor temperature is 0 degrees F. The indoor summer temperature shall be 73 degrees F and a maximum of 60% RH when the outdoor temperature is 91 degrees F dry bulb and 73 degrees F wet bulb.
14. Insulate and seal all ductwork located in the attic space.
15. Load calculations shall include internal heat gains from people, equipment and appliances. Coordinate these loads with the owner and anticipated use.
16. Coordinate space requirements for equipment and ductwork with the architect.
17. Coordinate locations and style of intake and exhaust vents with the architect.
18. Coordinate style and location of supply, return, and exhaust inlets and outlets with the architect.
19. Coordinate locations of condensate floor drains with the architect and plumbing contractor.
20. Coordinate window, wall, and roof thermal characteristics with the architect. Load calculations shall include these values.
21. Coordinate all electrical requirements with the architect and electrical contractor.
22. Size the system for a minimum 30 degree F entering water



Address: 924 Eddy

Unit: Basement

Location: 1 - Interior

Approx. Wall SF: 924

Ceiling/Floor SF: 1,080

| Spec # | Spec | Quantity | Units | Unit Price | Total Price |
|--------|------|----------|-------|------------|-------------|
|--------|------|----------|-------|------------|-------------|

Trade: 21 HVAC

temperature to the heat pumps.

Trade: 22 Plumbing

|      |                    |      |    |       |       |
|------|--------------------|------|----|-------|-------|
| 6630 | <b>SUPPLY--PEX</b> | 1.00 | AL | _____ | _____ |
|------|--------------------|------|----|-------|-------|

Install flexible pex piping with a minimum number of couplings to fixtures. Install mechanical connectors and shut off valves at all fixtures. Size pipe to 1990 CABO minimums per table 2406.5.

Include water line to fridges for ice maker.

Replace all supply lines throughout house. Include shutoffs to all fixtures (kitchen sinks, dishwashers, bath faucets, toilets). Use sample plumbing schematic (attached) and all hot water lines must be insulated to R-4 (including elbows).

|      |                                |      |    |       |       |
|------|--------------------------------|------|----|-------|-------|
| 6715 | <b>DRAIN, WASTE, VENT--PVC</b> | 1.00 | AL | _____ | _____ |
|------|--------------------------------|------|----|-------|-------|

Install schedule 40 PVC pipe and fittings, solvent welded after a dyed cleaning step. Install pipe with hangers 3' on center without critical damage to structural members.

Install new waste system from main plumbing drain to all fixtures, include necessary vents

|      |                                   |      |    |       |       |
|------|-----------------------------------|------|----|-------|-------|
| 6785 | <b>GAS LINES TO WATER HEATERS</b> | 1.00 | AL | _____ | _____ |
|------|-----------------------------------|------|----|-------|-------|

Install schedule 40 black iron pipe and gas cock to water heater locations.

|      |                               |      |    |       |       |
|------|-------------------------------|------|----|-------|-------|
| 7070 | <b>WATER HEATER--TANKLESS</b> | 3.00 | EA | _____ | _____ |
|------|-------------------------------|------|----|-------|-------|

Replace existing HWH with a gas fired, closed combustion, tankless water heater with a minimum 7 gallon per minute flow rate. Include pressure & temperature relief valve, discharge tube to within 6" of floor, owners manual & all venting piping. Provide separate electrical circuit & gas inlet and water inlet and outlet shut-off valves. If the HWH is located in a basement with a floor drain the discharge tube shall be directed to the drain. If it is located on an upper floor or if there is no floor drain, install a catch pan drained to the exterior. Recycle the existing HWH. (min. 7 gallons per minute flow rate; min. 0.82 EF; min. 2.5 gpm flow rate at 77 degrees or 41% more efficient than federal standard)

Location Total: \_\_\_\_\_

Unit Total for 924 Eddy , Unit Basement: \_\_\_\_\_

Address Grand Total for 924 Eddy : \_\_\_\_\_

Bidder: \_\_\_\_\_

# SPECS BY LOCATION/TRADE

4/13/2012

Bidding Open Date: \_\_\_\_\_  
 Bidding Close Date: \_\_\_\_\_  
 Initial: \_\_\_\_\_

Case Number: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Phone: \_\_\_\_\_

**Address: 924 Eddy (Exterior)**

**Unit: Exterior**

**Location: 1 - Exterior**

Approx. Wall SF: 0

Ceiling/Floor SF: 0

| Spec #                                | Spec  | Quantity | Units | Unit Price | Total Price |
|---------------------------------------|---|----------|-------|------------|-------------|
| <b>Trade: 4 Site Work</b>             |   |          |       |            |             |
| 330                                   | <b>FENCE--STOCKADE 6' HIGH</b><br>Dispose of any existing fence. Install a 6" high wood stockade fence. Use all preservative treated lumber, 4"x4" ground contact rated posts set at least 42" deep on 8" diameter concrete cookies 8' on center. 2"x4" top and bottom rails, 1"x3" split rail fence boards. Installation of sections shall be in a straight line unless otherwise stated.  | 48.00    | LF    | _____      | _____       |
| 475                                   | <b>LANDSCAPING ALLOWANCE</b><br>Build 2 rain gardens according to the print. Include plants specified.<br>Remove all trees along South property line, and any unwanted trees on rest of property (grind all stumps 8" below grade).<br>Remove old flower bed in NE corner of lot bring in any topsoil necessary to plant grass in bare patches and plant grass and cover with straw.<br>LEEDs requirements for landscapers<br>1. Landscaper must be certified by some agency (no specific agency required)<br>2. Silt fence is required for erosion control if any part of the project has a slope greater than 1/4<br>3. Contractor will be required to undo any compaction to the soil due to construction traffic or work activity by roto-tilling to a depth of 6" and reseeding.<br>4. The type of plants are very specific - follow the print exactly | 1.00     | AL    | _____      | _____       |
| <b>Trade: 6 Concrete &amp; Paving</b> |   |          |       |            |             |
| 855                                   | <b>DEMO CONCRETE</b><br>Break up concrete and remove off site to a concrete recycler. Remove all sections of unnecessary concrete (see print) in yard. All concrete must be taken to recycle yard per LEED requirements - certification required.   | 1.00     | AL    | _____      | _____       |
| 865                                   | <b>LEVEL SHARED STUDY</b><br>Excavate a round, 8" x 42" deep hole below the frost line to solid bearing. Pour a pier footing. Cast a rod to anchor pier. Repeat as necessary along North wall of study. Install support beams as necessary to support study in new position. All lumber must be pressure treated.   | 1.00     | AL    | _____      | _____       |
| 910                                   | <b>POROUS PAVER PARKING AREAS - ALTERNATE</b><br>Provide price for alternate parking area. Material will be "Porous Pave" or approved equivalent. Available from Integrity Outdoor Services, 4293 Crosby Rd. Flint, Mi 810-736-9198.<br>Please provide quote but do not include this in the final price of your bid. This will be a price for an alternate plan on the parking area only.   | 850.00   | SF    | _____      | _____       |

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

| Spec #                                | Spec   | Quantity | Units | Unit Price | Total Price |
|---------------------------------------|--|----------|-------|------------|-------------|
| <b>Trade: 6 Concrete &amp; Paving</b> |  |          |       |            |             |
| 955                                   | <b>APPROACH--REPAVE ASPHALT</b><br>Clean, spray tack coat and repave a 2" top coat of bituminous concrete over approach surface. Contractor is to remove all existing asphalt from main sidewalk, then call for an inspection by the Bureau of Engineering Services to see if the City will repair existing sidewalk or replace it. No asphalt is to be placed on main sidewalks.<br>Get curb cut (where necessary) and repave asphalt approach for both parking areas | 600.00   | SF    | _____      | _____       |
| 980                                   | <b>SIDEWALK--CONCRETE</b><br>Removed damaged sidewalk sections and replace Level surface, prepare a 3" gravel base over a uniformly graded & compacted subgrade. Form and pour 3000 psi air entrained concrete, 6" thick by 4' wide sidewalks. Provide #10 welded wire mesh, expansion joints at 6' intervals, and a broom finish surface. Remove forms. Regrade and seed disturbed areas.   | 80.00    | SF    | _____      | _____       |
| 1035                                  | <b>STEPS--REPAIR CONCRETE</b><br>Remove damaged, cracked, or deteriorated portions of steps. Using the appropriate bonding agents, reform and patch with latex fortified concrete patch.<br>Include steps to exterior entrance of Apartment 1 and steps down to basement entrance.   | 1.00     | AL    | _____      | _____       |
| Custom                                | <b>BICYCLE STORAGE AREA</b><br>Install two bicycle storage racks. One by front parking lot and one for the residents in the back. See print for placement and size.<br>Anchor racks in ground with cement and then install pad of "Porous Pave". Pad should be 4' wide by 2' more than the length of the bike rack   | 3.00     | EA    | _____      | _____       |
| <b>Trade: 7 Masonry</b>               |  |          |       |            |             |
| 1115                                  | <b>RETAINING WALL--REPAIR</b><br>Remove broken and cracked section of retaining wall by South parking area. Pin with 1/2" rebar every 12" and reform and pour a new concrete retaining wall in the same location as the old. Match style and size.   | 15.00    | LF    | _____      | _____       |
| 1290                                  | <b>CRUSHED CONCRETE PARKING AREA</b><br>Remove existing concrete and sod. Level area new parking area.<br>Install crushed concrete for the parking area identified in the print. Concrete should be no less than 6" deep<br>Include outdoor fitness area on south side of property.  | 850.00   | SF    | _____      | _____       |
| <b>Trade: 8 Metal Work</b>            |  |          |       |            |             |
| 1460                                  | <b>REPAIR METAL FENCE</b><br>Repair existing wrought iron fence by removing rust (sand blast or wire brushing), prime and paint with 2 coats of exterior grade paint. Replace missing post caps with matching caps (match as closely as possible) Straighten bent pieces.  | 150.00   | LF    | _____      | _____       |

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

| Spec #           | Spec   | Quantity | Units | Unit Price | Total Price |
|------------------|--|----------|-------|------------|-------------|
| <b>Trade: 8</b>  | <b>Metal Work</b>  |          |       |            |             |
|                  | Move portion of fence on West property line to new location - see print  |          |       |            |             |
| <b>Trade: 10</b> | <b>Carpentry</b>   |          |       |            |             |
| <b>2615</b>      | <b>SIDING--CEDAR SHINGLE REPAIR</b><br>Remove damaged and deteriorated shingles. Install 18" #1 cedar shingles with an 8" exposure using aluminum or galvanized nails.<br>Remove shingles within 12" of vertical corners and install aluminum flashing. Re-install cedar shingles over flashing. Use top few courses of cedar to replace missing or damaged portions.  | 1.00     | AL    | _____      | _____       |
| <b>2720</b>      | <b>STUCCO ON FRAME</b><br>Remove existing Stucco. Repair and damaged or rotten sheeting. Install stucco mesh over 15 lb felt on frame wall and apply a 1" coat of colored float finish. Paint owner's choice of color.   | 2,000.00 | SF    | _____      | _____       |
| <b>2887</b>      | <b>WINDOW--WOOD DBL HNG/DBL GLZ</b><br>Dispose of window unit and install a wood, double hung, double glazed, one-over-one, energy star rated, window and jamb complete with screen, hardware, weatherstripping, and exterior casing. Repair all walls disturbed by removal and installation. Finish inside (stain interior). Clean glass. In bathrooms, use obscure glass<br>Window will be Andersen, energy star, exterior clad or approved equivalent.<br>Include SDL grills and matching window style.<br>C&L Ward has agreed to donate certain materials as part of an exterior package. Call Pat Ward for details (810) 503-1163 | 55.00    | EA    | _____      | _____       |
| <b>3170</b>      | <b>DOOR--CUSTOM EXTERIOR REPL</b><br>Replace main entry door with replica round top, pre-hung, solid wood, entry door with window. Include interior, exterior trim, and brass lockset with deadbolt (Schlage or approved equivalent).  | 1.00     | EA    | _____      | _____       |
| <b>3185</b>      | <b>DOOR--PREHUNG METAL ENTRANCE</b><br>Dispose of door and frame. Install a prehung metal, insulated, 6-panel, 9 light, entrance door and jamb including exterior casing, threshold, one entrance and one mortised deadbolt (Schlage, brass finish or approved equivalent). Paint with two coats of exterior acrylic latex paint (Owner's choice of color).<br>Basement entrance door should be no light, 6 panel.<br>Replace Apt. 1 entry door, 1 side entry door, 1 basement entry door, 2 doors onto upper balcony, and 1 door into classroom space.  | 6.00     | EA    | _____      | _____       |
| <b>3560</b>      | <b>PORCH--REBUILD FRONT ENTRY</b><br>Remove deteriorated porch. Re-pour front steps, stucco exterior surface to match house. Re-use limestone treads and risers, replace with new where necessary. Broom finish landing.<br>Re-use posts and roof, include new bases under posts.<br>Encapsulate and paint existing wood. Replace missing or rotten wood. Repair soffit and fascia, match existing.  | 36.00    | SF    | _____      | _____       |

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

| Spec #           | Spec   | Quantity | Units | Unit Price | Total Price |
|------------------|--|----------|-------|------------|-------------|
| <b>Trade: 10</b> | <b>Carpentry</b>   |          |       |            |             |
| 3575             | <b>TREATED WOOD DECK</b><br>Build a treated lumber porch/landing. Include piers, posts, stringers, steps, and rail. Use appropriately sized floor joists for span. All foundation lumber should be approved for ground contact.<br>Build handicapped accessible ramp from parking area to back deck (48"x 40') with proper slope (1:16).<br>See print for stair placement and location.<br>Include 2nd Story deck off back of both units (include privacy fence in between) - See print  | 600.00   | SF    | _____      | _____       |
| 3875             | <b>HOUSE NUMBER SET</b><br>Install 3" solid brass numbers on a 1"x 4" pine backer board painted with 2 coats of exterior latex paint.  | 1.00     | EA    | _____      | _____       |
| 3885             | <b>MAILBOX</b><br>Dispose of mailbox and install a steel, black enamel finish, letter-size, locking mail box with magazine rack.   | 3.00     | EA    | _____      | _____       |
| <b>Trade: 15</b> | <b>Roofing</b>   |          |       |            |             |
| 4580             | <b>TEAR OFF AND REROOF SHINGLES</b><br>Remove and dispose of all roofing & defective sheathing. Cut a 1" wide vent at ridge board. Re-sheet entire roof with 7/16" OSB. Staple 15 lb felt. Install preformed aluminum, drip edge, and vent pipe boots. Install a 220 lb fiberglass asphalt, dimensional shingle with a 30 yr warranty (Certainteed, Landmark or approved equivalent). Replace all flashing. Install shingle-over ridge vent. Include "Ice and water shield" where specified by code.<br>Call for "open roof" inspection prior to drying in. Include permit fee if no building permit is required.<br>Owner will pick color.<br>Center portion is flat section that will need a rubber membrane (2 sq).<br>C&L Ward has agreed to donate certain materials as part of an exterior package. Call Pat Ward for details (810) 503-1163 | 26.00    | SQ    | _____      | _____       |
| 4635             | <b>GUTTER--5" SEAMLESS ALUMINUM &amp; RAINBARRELS</b><br>Dispose of gutter. Install 5", K- type, seamless, .027 gauge aluminum gutter to service roof. White or brown color choice by owner. Downspouts will have 4' removeable extensions.<br>Include double rainbarrels (60 gal. each) at each downspout with spigot and soaker hose.  | 1.00     | AL    | _____      | _____       |
| 4760             | <b>SOFFIT &amp; FASCIA</b><br>Remove existing and install aluminum vented soffit and aluminum fascia. Cut channel in existing soffit if necessary to insure proper ventilation   | 200.00   | LF    | _____      | _____       |
| <b>Trade: 19</b> | <b>Paint &amp; Wallpaper</b>   |          |       |            |             |
| 5655             | <b>PREP &amp; PAINT EXTERIOR WOOD</b><br>Cover ground with drop cloth. Scrape all loose, cracked, peeling and blistered paint. Remove all deteriorated glazing compound.   | 2,000.00 | SF    | _____      | _____       |

Address: 924 Eddy (Exterior)

Unit: Exterior

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

| Spec #    | Spec                         | Quantity | Units | Unit Price | Total Price |
|-----------|------------------------------|----------|-------|------------|-------------|
| Trade: 19 | <b>Paint &amp; Wallpaper</b> |          |       |            |             |

Feather edges and dull gloss with sandpaper. Dispose of chips properly. Rinse all surfaces with a hose. Encapsulate all exposed wood with Michigan approved encapsulant. Caulk and fill holes. Reglaze sash where compound is missing. Spot prime and top coat two colors with owner's choice of premixed acrylic latex. Caulk and paint should be low V.O.C.  
 Include, window and door trim, and porch.  
 See Lead Report

|      |   |        |    |       |       |
|------|---|--------|----|-------|-------|
| 5785 | <b>PREP &amp; PAINT EXTERIOR MASONRY FOUNDATION</b>   | 400.00 | SF | _____ | _____ |
|      | Protect ground with drop cloth. Scrape or pressure wash all loose, peeling, cracked and blistered paint from surface. Spot prime with latex primer. Paint one top coat with latex. Color choice by owner. |        |    |       |       |

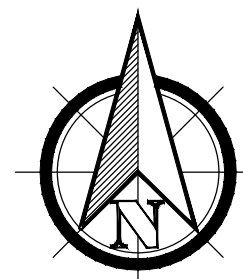
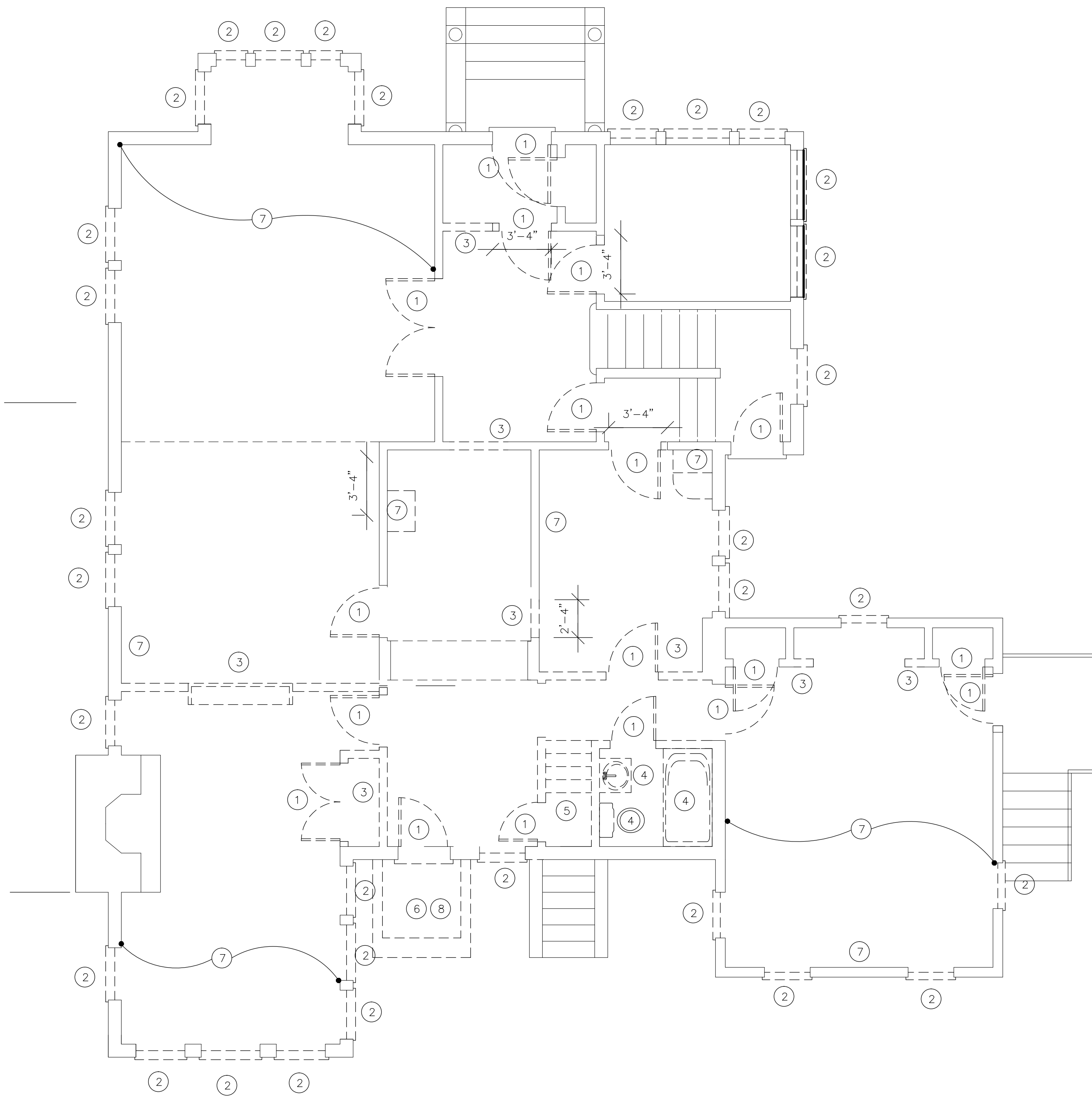
Location Total: \_\_\_\_\_

Unit Total for 924 Eddy (Exterior) , Unit Exterior: \_\_\_\_\_

Address Grand Total for 924 Eddy (Exterior) : \_\_\_\_\_

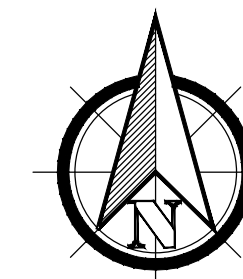
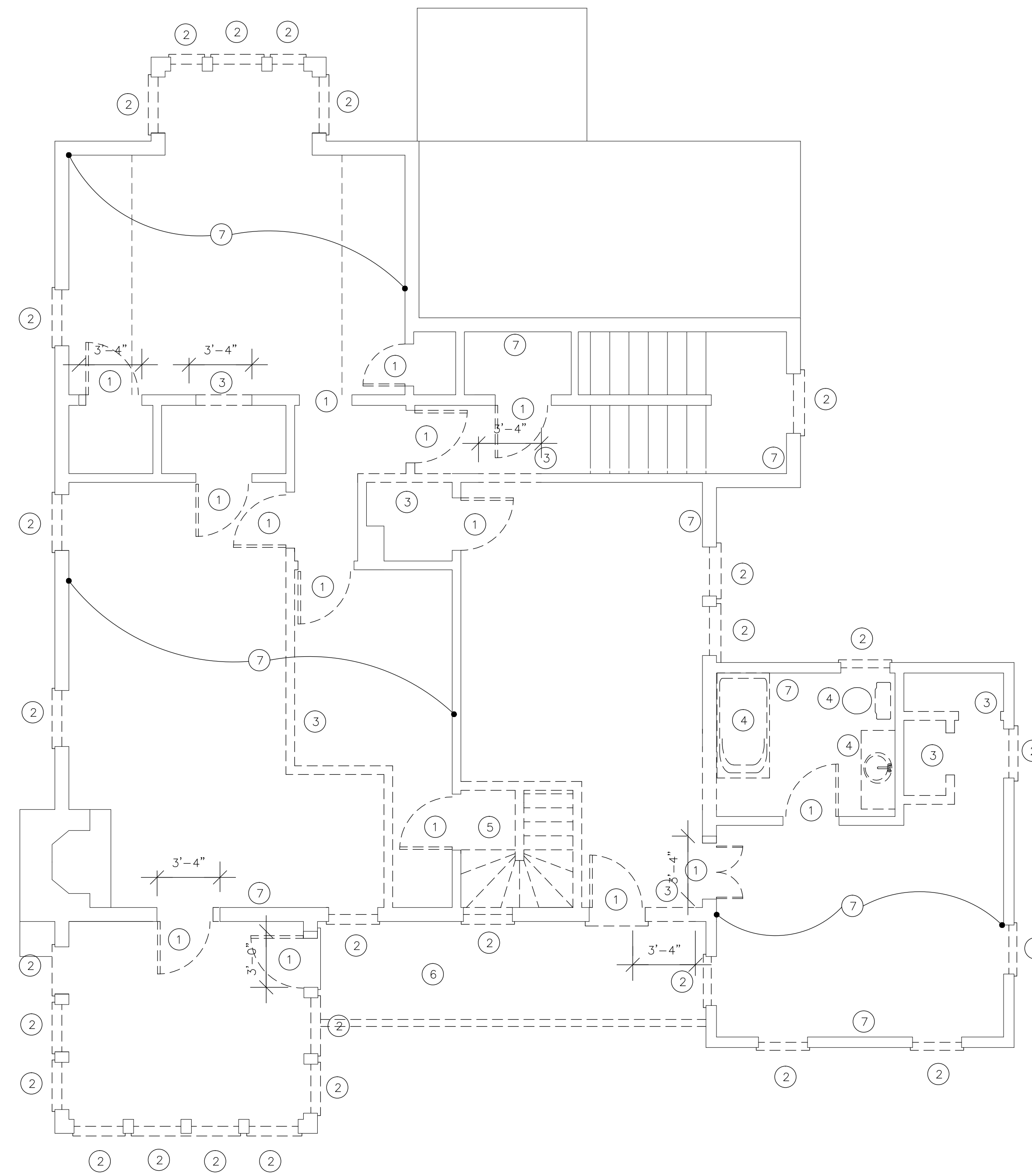
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Urban Alternatives House  
**LOWER DEMOLITION PLAN**

scale: 1/4"=1'-0"



Urban Alternatives House  
**UPPER DEMOLITION PLAN**

scale: 1/4"=1'-0"

○ DEMOLITION NOTES

1. REMOVE EXISTING DOOR AND FRAME - PREP OPG FOR NEW DOOR AND FRAME OR STUD WALL INFILL
2. REMOVE EXISTING WINDOW
3. REMOVE PORTION OF EXISTING WALL
4. REMOVE EXISTING PLUMBING FIXTURE
5. REMOVE EXISTING WOOD STAIR
6. REMOVE EXISTING WOOD PORCH / DECK STRUCTURE AND RAILING
7. REMOVE EXISTING PLASTER THROUGHOUT & PREP EXISTING STUDS FOR NEW BLOWN INSULATION & GYP BD FINISH
8. REMOVE EXISTING PORCH ROOF / AWNING
9. REMOVE EXISTING BRICK CHIMNEY

GENERAL NOTES

1. DEMOLITION NOTES ARE NOT ALL-INCLUSIVE - CONTRACTOR TO REMOVE OTHER ITEMS AS NEEDED TO COMPLETE NEW WORK
2. HAZARDOUS WASTE REMOVAL REQUIRED RE: SPEC

| NO. | REVISIONS / SUBMISSIONS | DATE |
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**Fun**CHITECTURE

111 east court street suite 3D flint, michigan 48502

Genesee County Land Bank &  
University of Michigan-Flint  
**Urban Alternatives House**  
924 Eddy Street  
Flint, MI

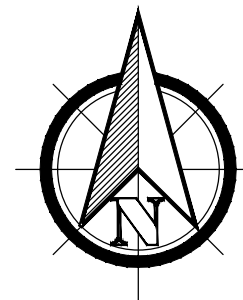
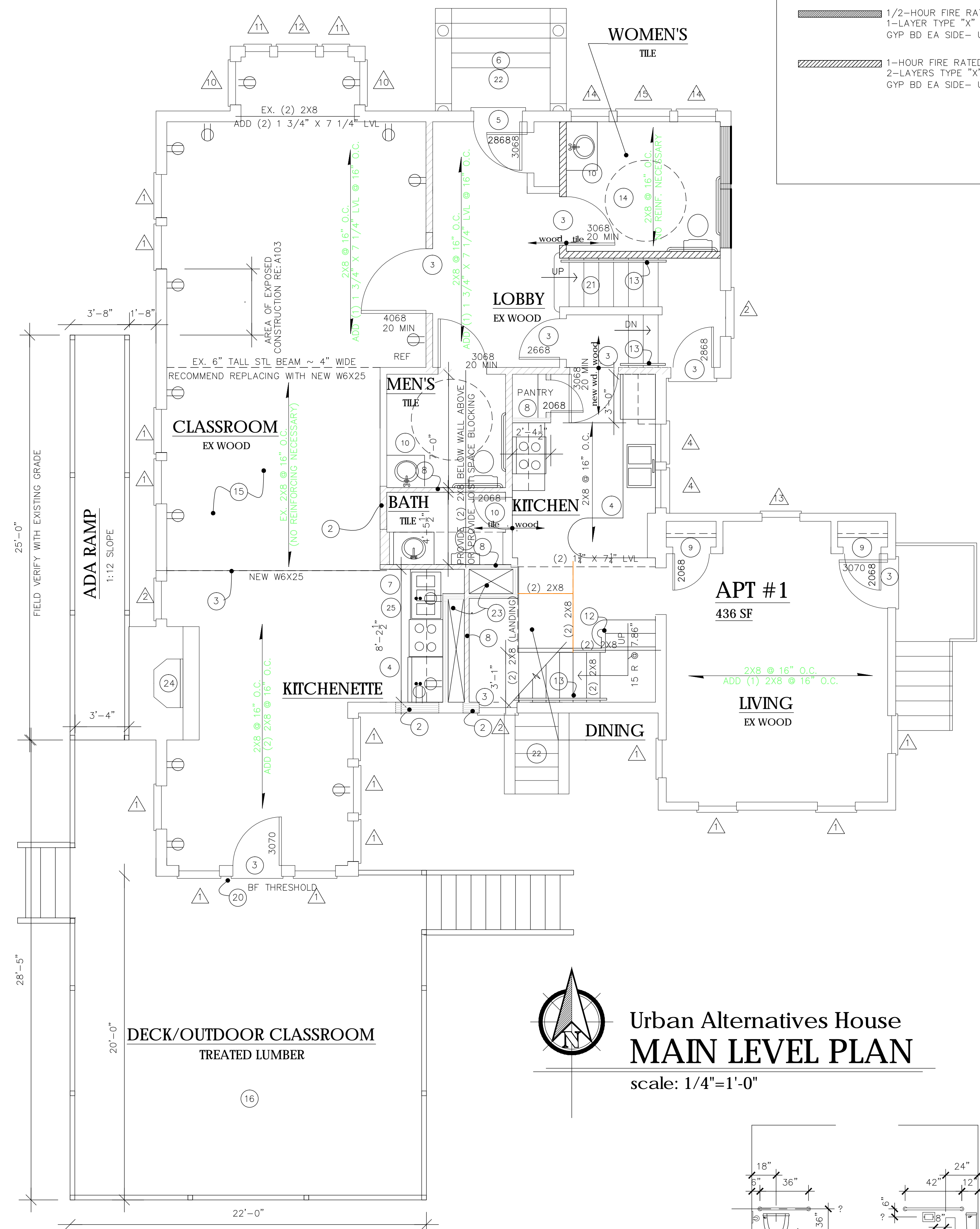
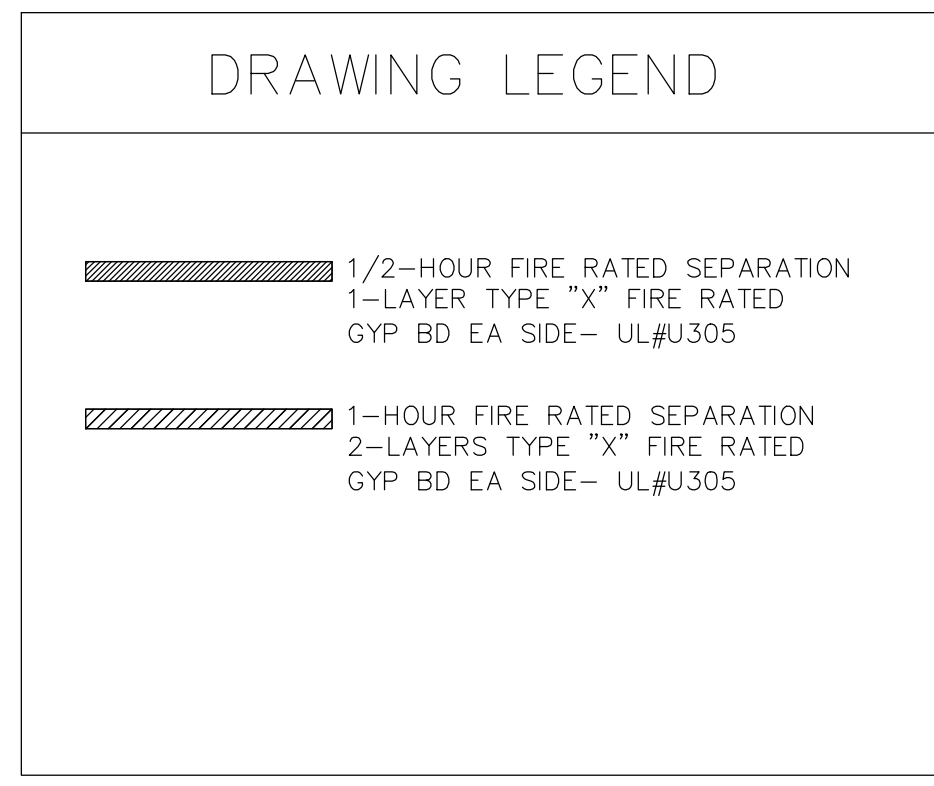
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**DEMOLITION PLANS**

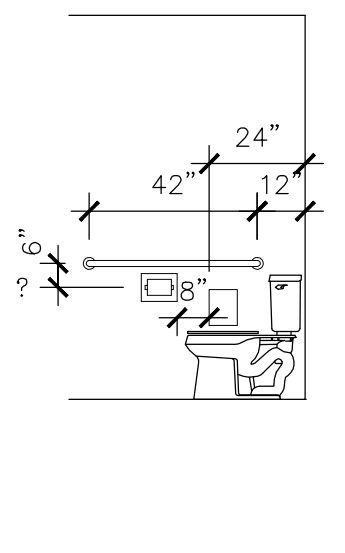
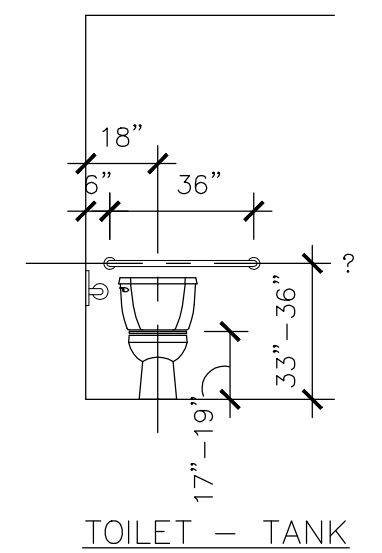
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|      | DATE<br>3/20/12     | DRAWING NO.<br><b>A00</b> |
|      | SCALE<br>1/4"=1'-0" | SHEET NO.<br>___ OF ___   |

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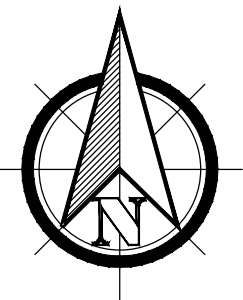
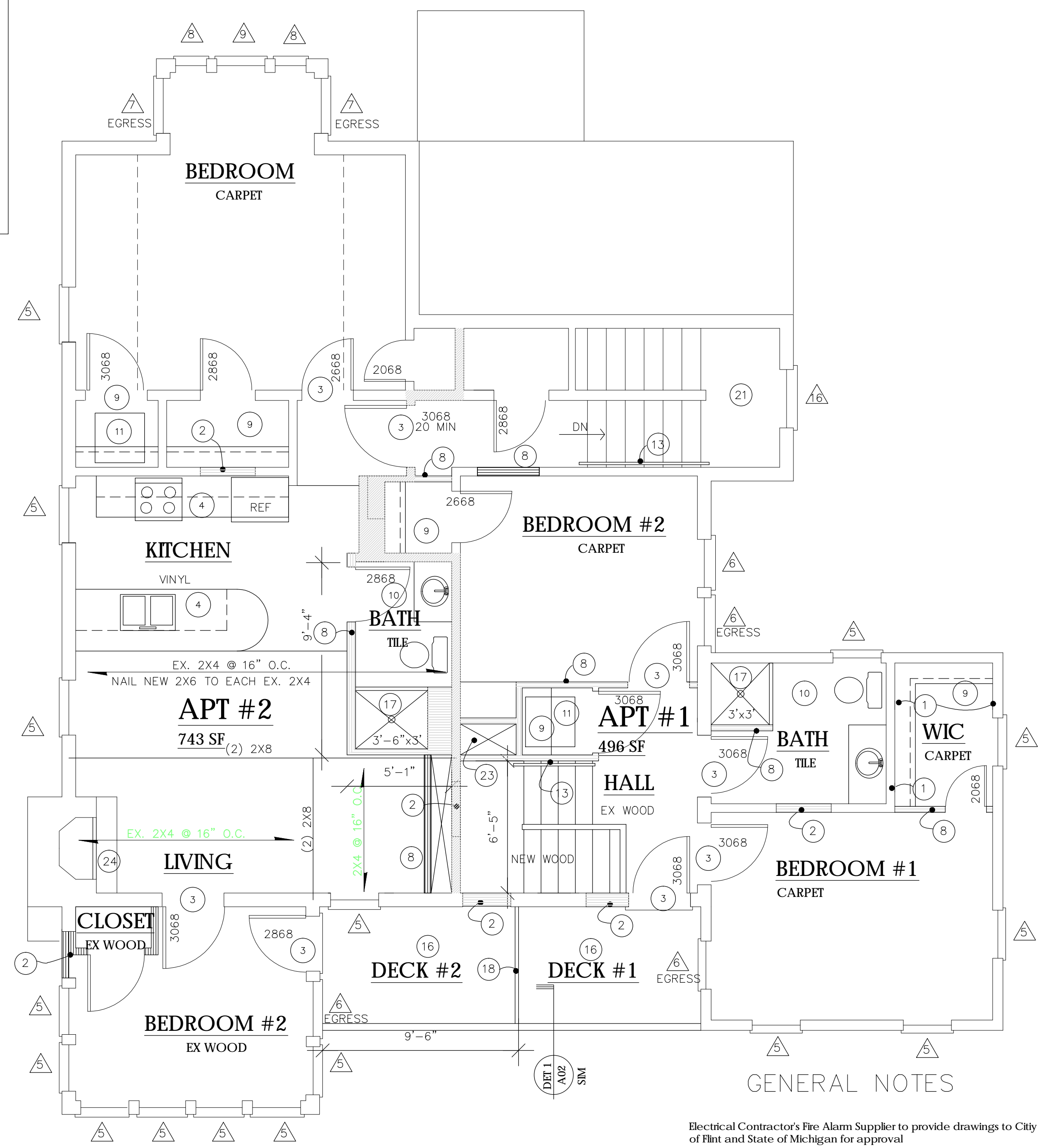




Urban Alternatives House  
**MAIN LEVEL PLAN**  
scale: 1/4"=1'-0"



**BARRIER FREE MOUNTING HEIGHTS**  
SCALE: 1/4" = 1'-0"



Urban Alternatives House  
**UPPER LEVEL PLAN**  
scale: 1/4"=1'-0"

### CONSTRUCTION NOTES

- NEW GLASS BLOCK BSMT WINDOWS, TYP PROVIDE VINYL WINDOW WELLS TO WEST RE-SPEC (REMOVE EXIST CMU WINDOW WELLS)
- INFILL STUD WALL WHERE DOOR OR WINDOW WAS REMOVED
- PROVIDE NEW (2) 2x8 HEADER
- NEW CABINETRY - RE-SPEC
- NEW WOOD ROUND TOP ENTRANCE DOOR & FRAME
- PROVIDE NEW WOOD BASE UNDER EXISTING COLUMNS, PROVIDE NEW BRICK PORCH (MATCH CHIMNEY) RE-USE LIMESTONE CAPS; REPLACE 2 LIMESTONE TREADS AND RISERS
- NEW 3 COMPARTMENT STAINLESS STEEL SINK RE-SPEC
- NEW 3 1/2" WOOD STUD WALL
- COAT ROD & SHELF
- VINYL W/ WOOD BASE
- NEW STACKABLE WASHER/DRYER COMBO RE-SPEC
- NEW WOOD BALLUSTER
- NEW WOOD HANDRAIL
- NOT USED
- UL#L501 1 HR FLOOR-CEILING FIRE SEPARATION
- NEW WOOD RAMP AND DECK WITH HANDRAIL SEE SHEET A02 FOR FRAMING
- FIBERGLASS SHOWER INSERT RE-SPEC
- WOOD PRIVACY SCREEN
- KITCHEN CABINETS RE-SPEC
- PH SIGN DETAIL THIS SHEET
- PATCH / REPAIR EXISTING WOOD STAIR AS REQUIRED
- PATCH / REPAIR EXISTING CONC STEPS AS REQUIRED
- VERTICAL MECHANICAL CHASE - 1 HR RATED
- PROVIDE AIRTIGHT FIREPLACE ENCLOSURE RE-SPEC
- KITCHEN BARRIER FREE NOTES:  
counter to be 28" minimum and 34" maximum, one bowl of a multi-bowl sink shall have knee clearance (11 inches min depth at 9" above the floor, and 8" min depth at 27" above the floor) 30" wide

Electrical Contractor's Fire Alarm Supplier to provide drawings to City of Flint and State of Michigan for approval

Mechanical Contractor's Sprinkler System Supplier to provide drawings to City of Flint and State of Michigan for approval

PROVIDE NEW 1/2" GYPSUM BOARD THROUGHOUT (EXCEPT AT FIRE-RATED WALLS AND CEILING) PRIME AND PAINT - 2 COATS

ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE W/O THE USE OF KEY OR SPECIAL DEVICE

PROVIDE 18"x60" CLEAR AREA ON ALL PULL SIDE OF DOORS AND 12"x48" CLEAR AREA ON ALL PUSH SIDE OF DOORS AT CLASSROOM, PH UNSEX AND SHARED STUDY

PROVIDE EXIT SIGNS IN CLASSROOM (SECTION 1011).

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS AT BOTH HORIZONTAL & VERTICAL SPACES AS REFERENCED CODE SECTION 717.2.

ALL INTERIOR DIM ARE SHOWN TO FACE OF STUD. WALL THICKNESS IS 3 1/2" UNO.

ALL GLAZING IN SHOWER & BATH DOORS & GLAZING W/LOWEST EDGE LESS THAN 18" AFF SHALL BE SAFETY GLASS

PROVIDE ALL NEW INTERIOR WOOD TRIM AT WINDOWS, DOORS, AND BASE. RE-SPEC - PRIME AND PAINT - 2 COATS

PROVIDE SMOKE DETECTORS IN ALL BEDROOM & FURNACE AREAS

ATTIC VENTILATION TO BE 1/3 OF 1% OF HORIZONTAL PROJECTED ROOF AREA

BATHS, KITCHEN & OUTSIDE RECEPTACLES SHALL HAVE GROUND FAULT BREAKERS

EGRESS WINDOWS SILL HEIGHT AT 44" MAX & 5.7 SF MIN

ALL KITCHEN COUNTERTOPS AND DISK TOP MATERIALS TO BE PLASTIC LAMINATE

ALL EXISTING CLASSROOM & COMMON AREA WOOD FLOORS TO BE REFRESHED

ALL WOOD IN CONTACT WITH CONCRETE/GROUND TO BE PRESSURE TREATED

PROVIDE FIRE ALARM SYSTEM PER CODE

PROVIDE FULL BUILDING SPRINKLER SYSTEM PER NFPA 13

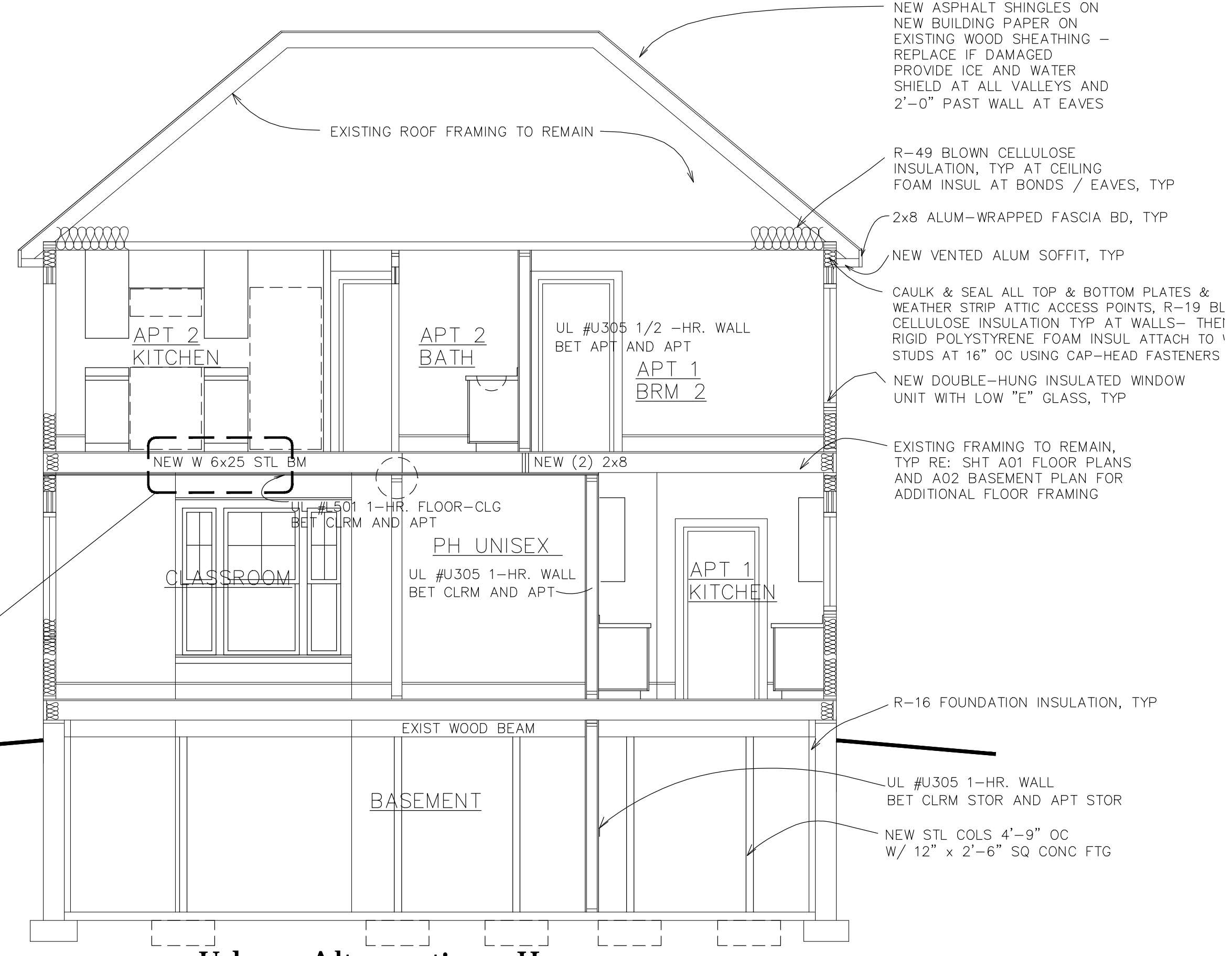
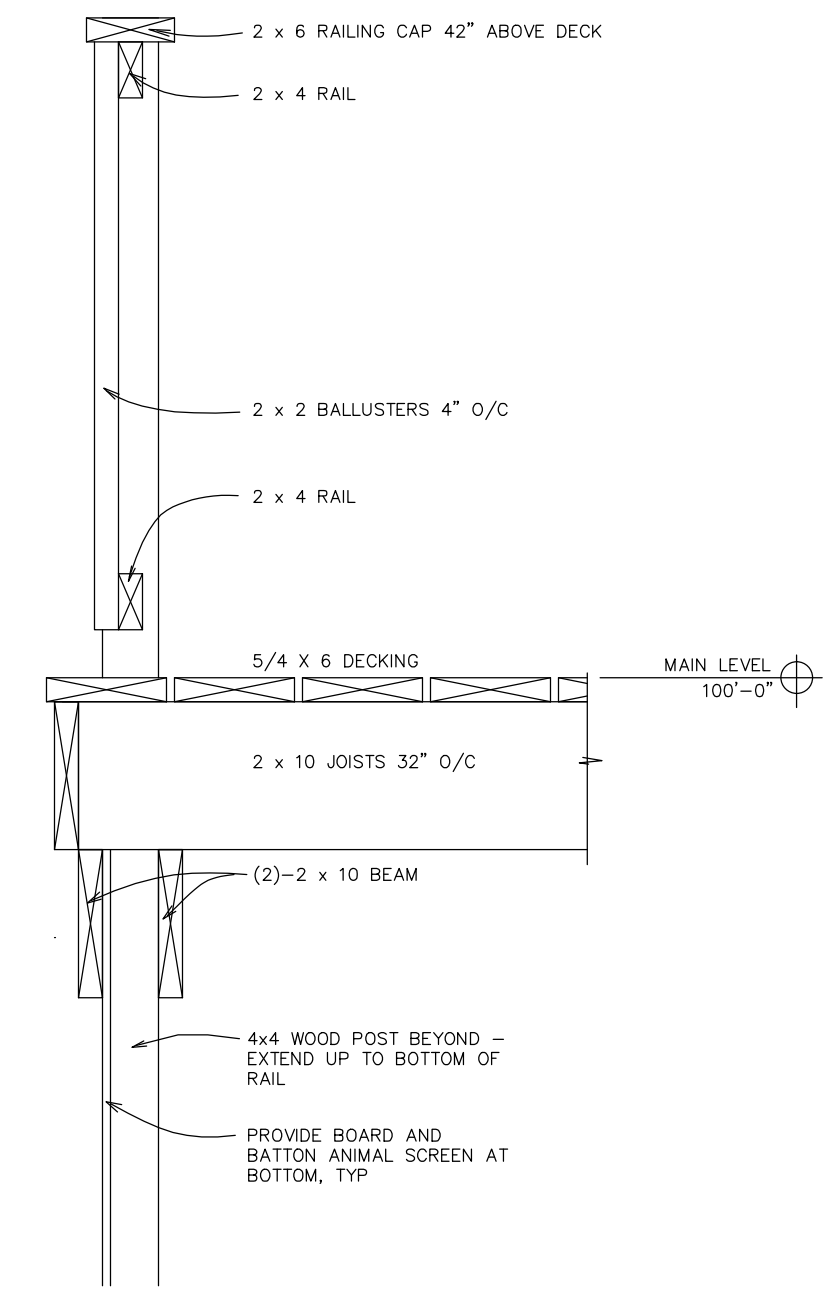
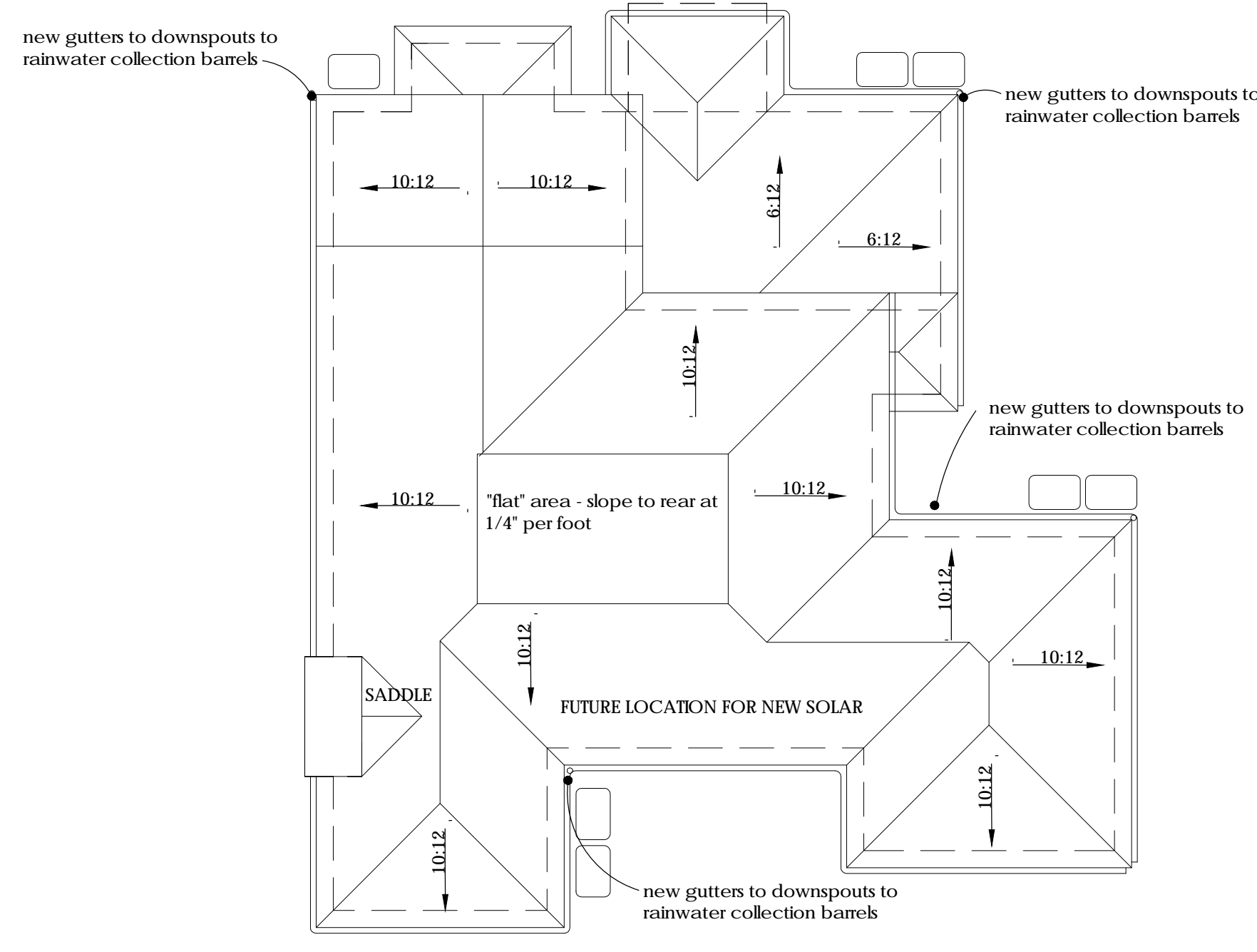
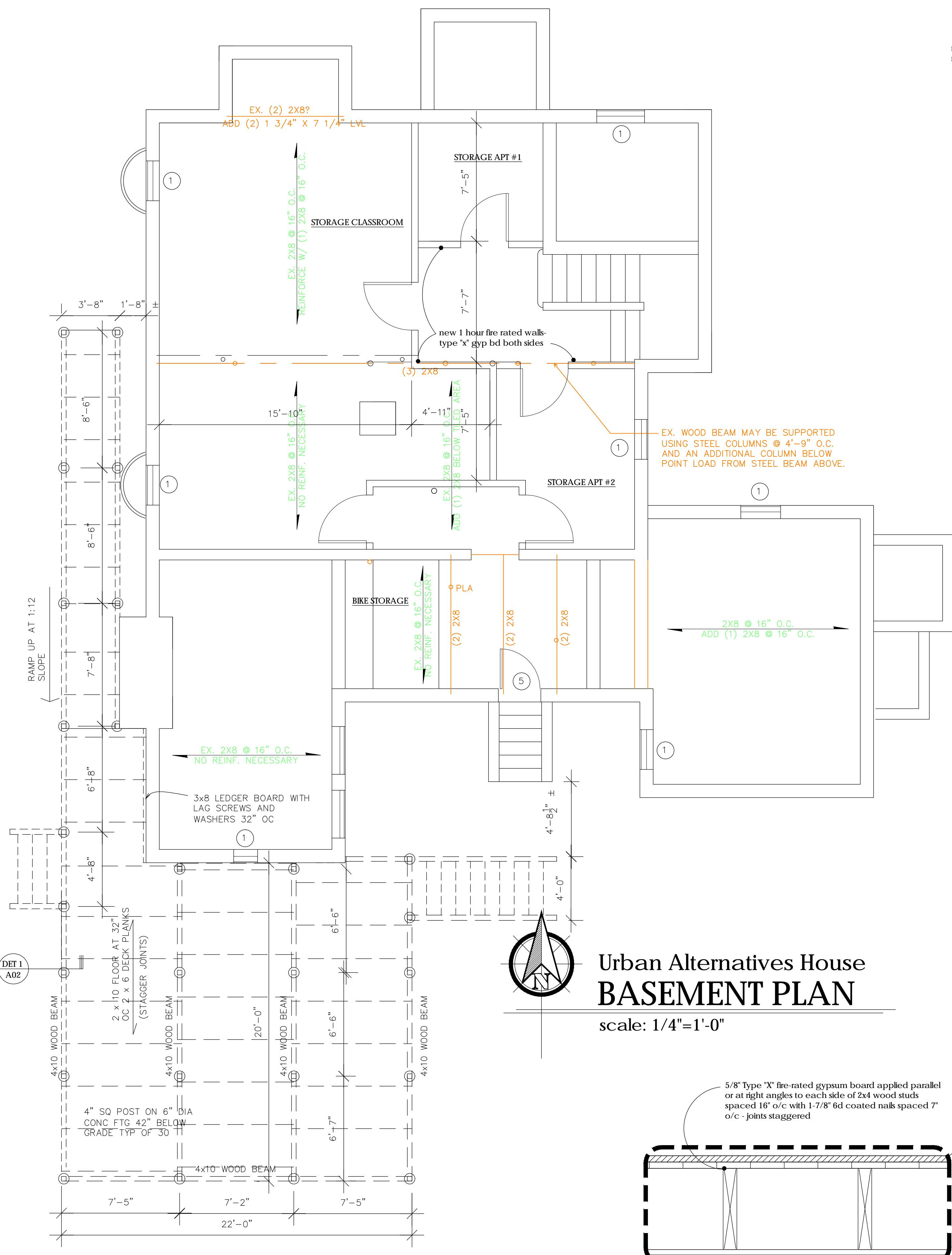


111 east court street suite 3D flint, michigan 48502

Genesee County Land Bank &  
University of Michigan-Flint  
Urban Alternatives House  
924 Eddy Street  
Flint, MI

| DRAWING TITLE      |                     |                                    |
|--------------------|---------------------|------------------------------------|
| <b>FLOOR PLANS</b> |                     |                                    |
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|                    | REVIEWED<br>sew     | DRAWING NO.<br>A01                 |
|                    | DATE<br>3/20/12     | SHEET NO.<br>OF                    |
|                    | SCALE<br>1/4"=1'-0" |                                    |





| NO. | REVISIONS / SUBMISSIONS | DATE |
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**Fun**CHITECTURE

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Genesee County Land Bank &  
University of Michigan-Flint  
**Urban Alternatives House**  
924 Eddy Street  
Flint, MI

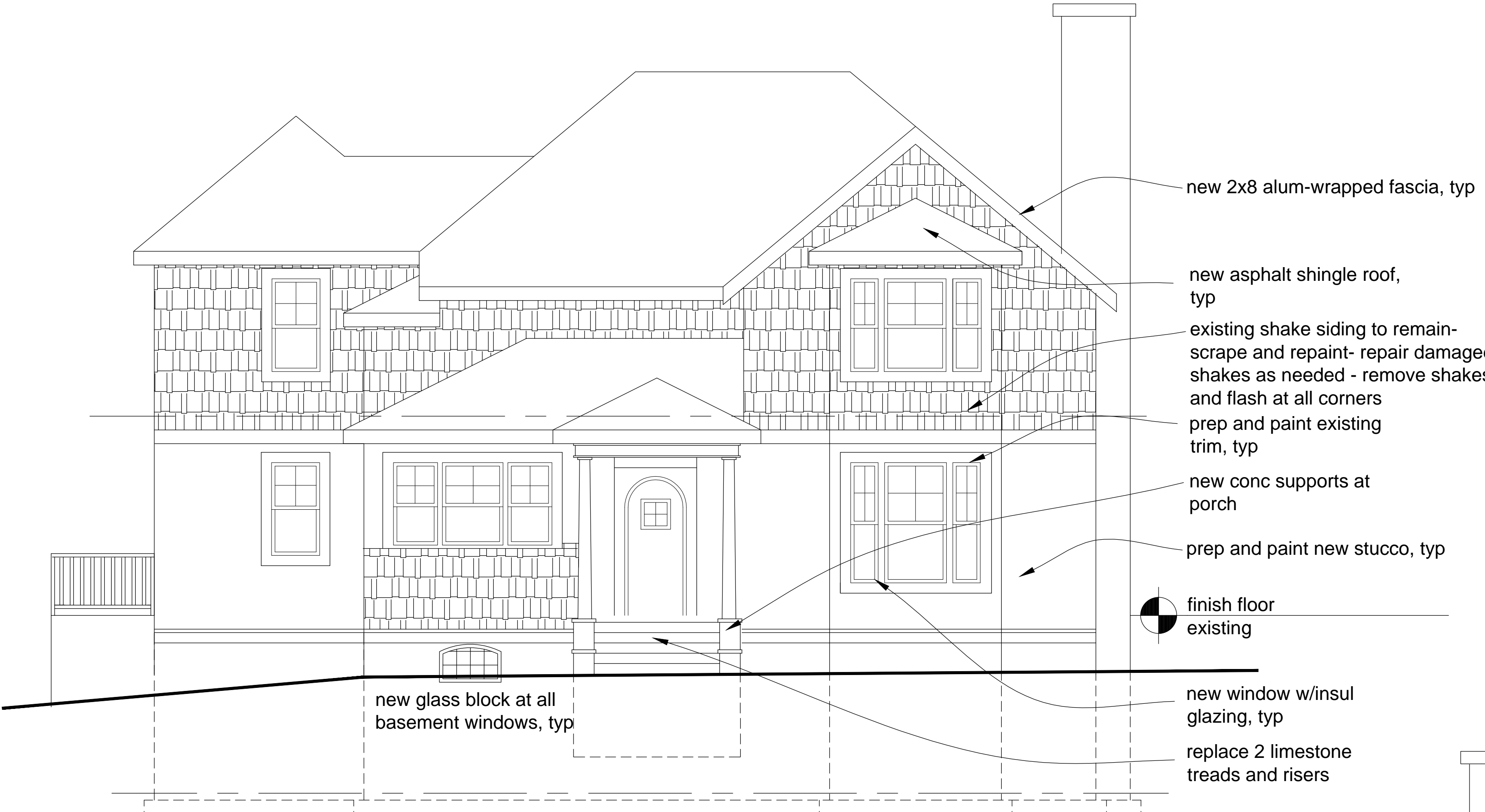
DRAWING TITLE  
**FIRST FLOOR FRAMING, ROOF  
PLAN & BUILDING SECTION**

|      |                     |                                    |
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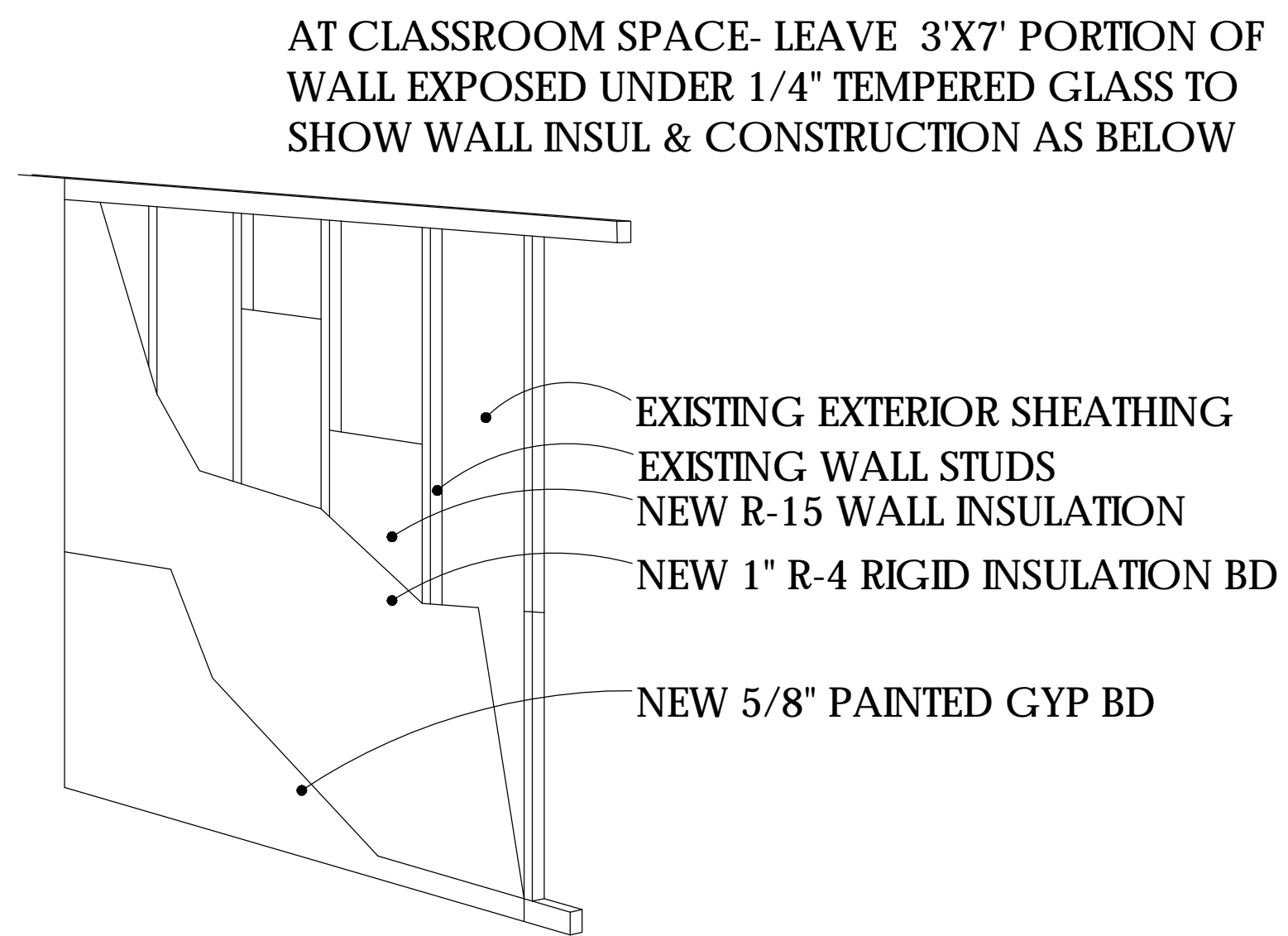
WINDOW SCHEDULE

| SYMBOL  | NUMBER   | QUANTITY | LOCATION   | ROUGH OPENING             | NOTES                |
|---------|----------|----------|--|---------------------------|----------------------|
| △       | TW2452   | 14       | APT 1 LIVING CLASSROOM   | RO 2'-6 1/8" x 5'-5-1/4"  |                      |
| △       | TW24210  | 3        | CLASSROOM APT 1 NOOK STAIR LANDING   | RO 2'-6 1/8" x 3'-1-1/4"  | NOOK HEAD HT = 5'-0" |
| △       | NOT USED |          |  |                           |                      |
| △       | TW3042   | 2        | APT 1 KITCHEN  | RO 3'-2-1/8" x 4'-5-1/4"  |                      |
| △       | TW2446   | 17       | UPPER LEVEL TYP  | RO 2'-6 1/8" x 4'-9-1/4"  |                      |
| △       | TW3046   | 3        | UPPER BEDROOMS   | RO 3'-2-1/8" x 4'-9-1/4"  | EGRESS               |
| △       | TW210410 | 2        | APT 2 BRM  | RO 3'-0-1/8" x 5'-1-1/4"  | EGRESS               |
| △       | TW18410  | 2        | APT 2 BRM BAY  | RO 1'-10-1/8" x 5'-1-1/4" |                      |
| △       | TW26410  | 1        | APT 2 BRM BAY  | RO 2'-8-1/8" x 5'-1-1/4"  |                      |
| △       | TW21056  | 2        | CLASSROOM BAY  | RO 3'-0-1/8" x 5'-9-1/4"  |                      |
| △       | TW1856   | 2        | CLASSROOM BAY  | RO 1'-10-1/8" x 5'-9-1/4" |                      |
| △       | TW2656   | 1        | CLASSROOM BAY  | RO 2'-8-1/8" x 5'-9-1/4"  |                      |
| △       | TW2442   | 1        | APT 1 LIVING   | RO 2'-6-1/8" x 4'-5-1/4"  |                      |
| △       | TW2042   | 2        | SHARED STUDY   | RO 2'-2 1/8" x 4'-1-1/4"  |                      |
| △       | TW3042   | 1        | SHARED STUDY   | RO 3'-2 1/8" x 4'-1-1/4"  |                      |
| △       | TW2842   | 1        | STAIR  | RO 2'-10 1/8" x 4'-5-1/4" |                      |
| TOTAL = |          | 54       | NOTE:<br>HEAD HT. AT 7'-5" FIRST FLOOR<br>HEAD HT. AT 6'-8" SECOND FLOOR<br>COLOR: WHITE<br>WINDOW NUMBERS SHOWN ARE "ANDERSEN 400 SERIES"<br>ALL BASEMENT WINDOWS TO BE NEW GLASS BLOCK |                           |                      |



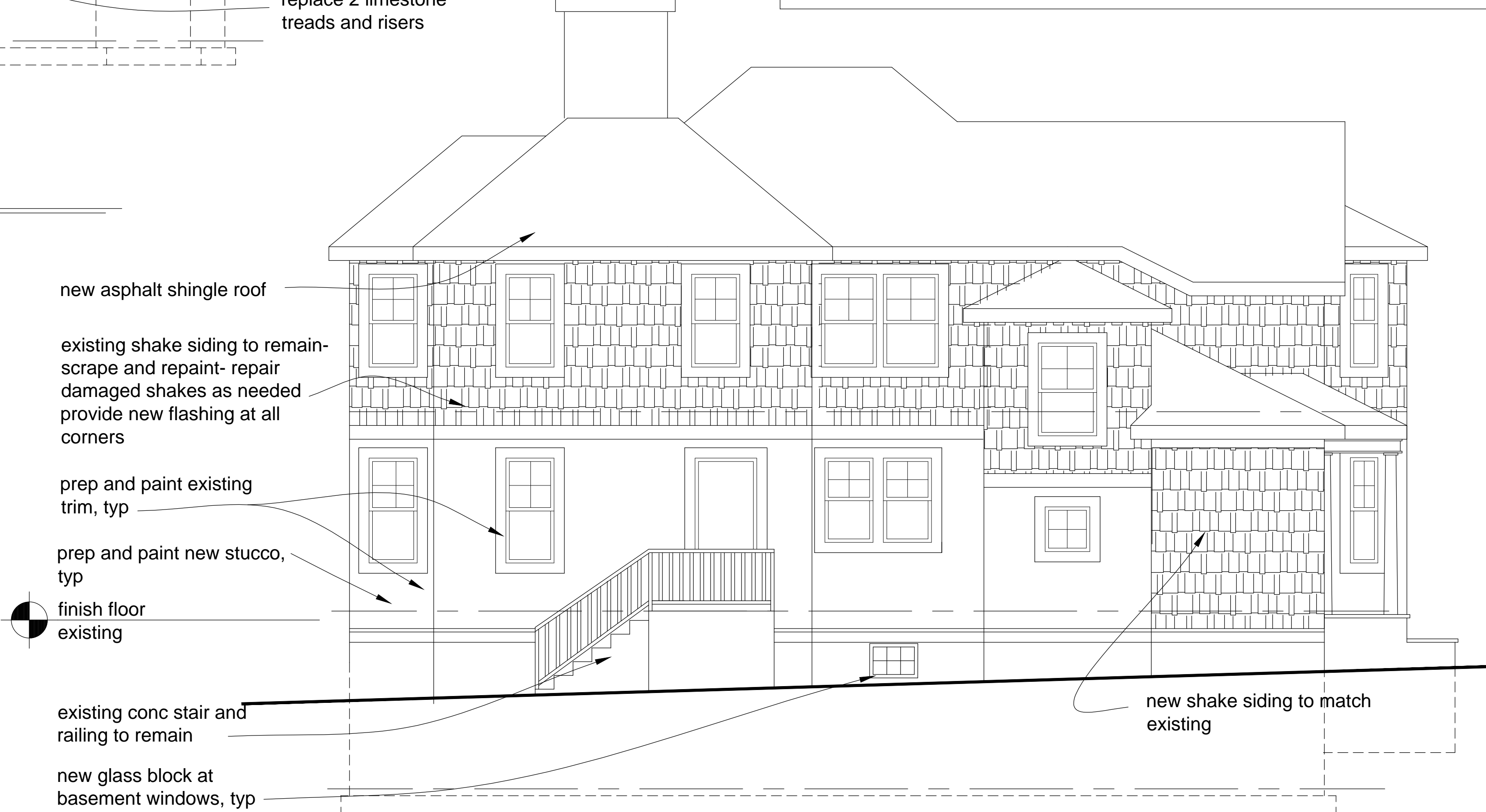
Urban Alternatives House  
NORTH ELEVATION

scale: 1/4"=1'-0"



Urban Alternatives House  
INTERIOR WALL ELEVATION

NTS



Urban Alternatives House  
EAST ELEVATION

scale: 1/4"=1'-0"

| NO. | REVISIONS / SUBMISSIONS | DATE |
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Genesee County Land Bank &  
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Flint, MI

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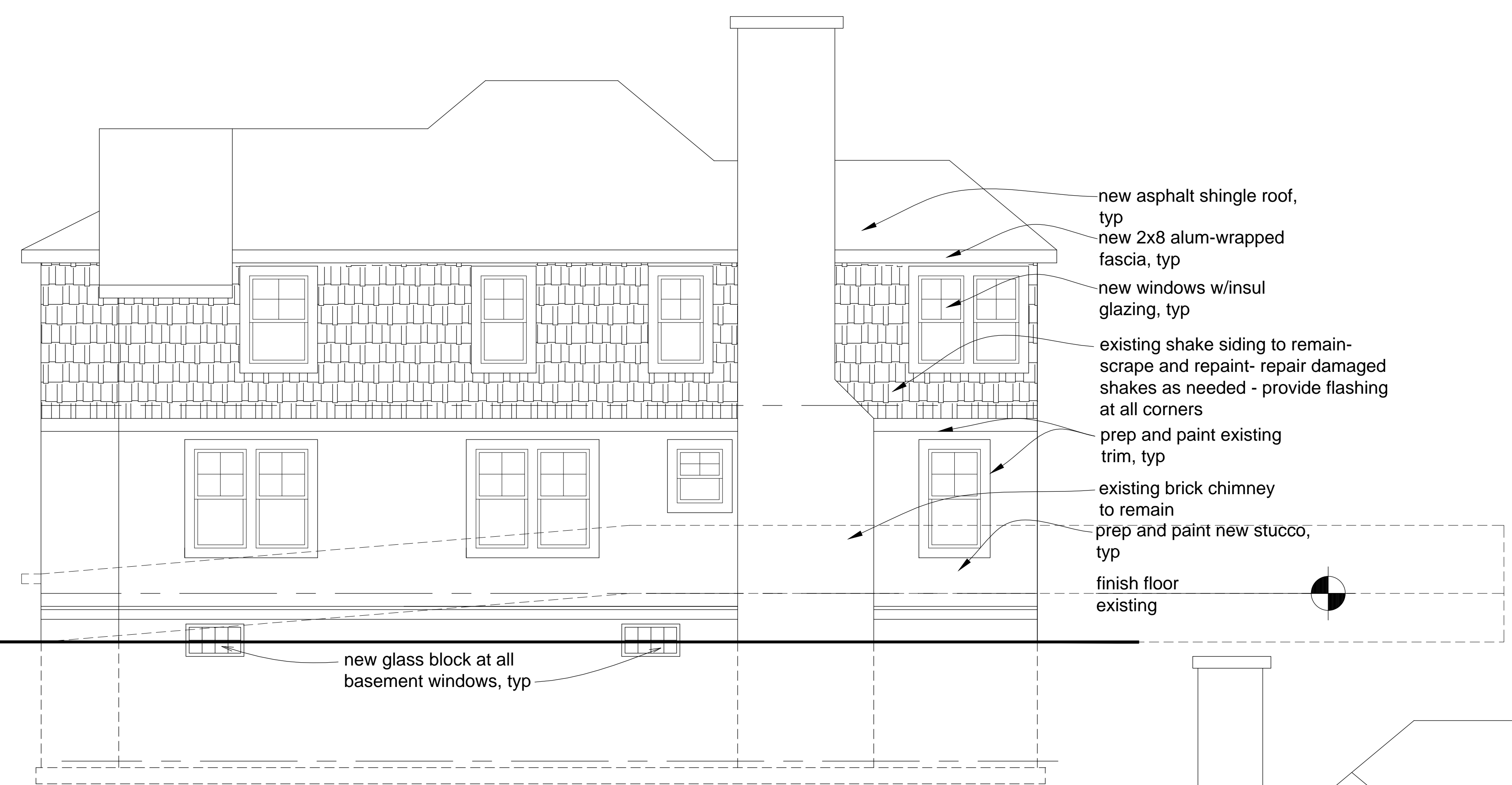
ELEVATIONS

| SEAL | DRAWN        | PROJECT NO.         |
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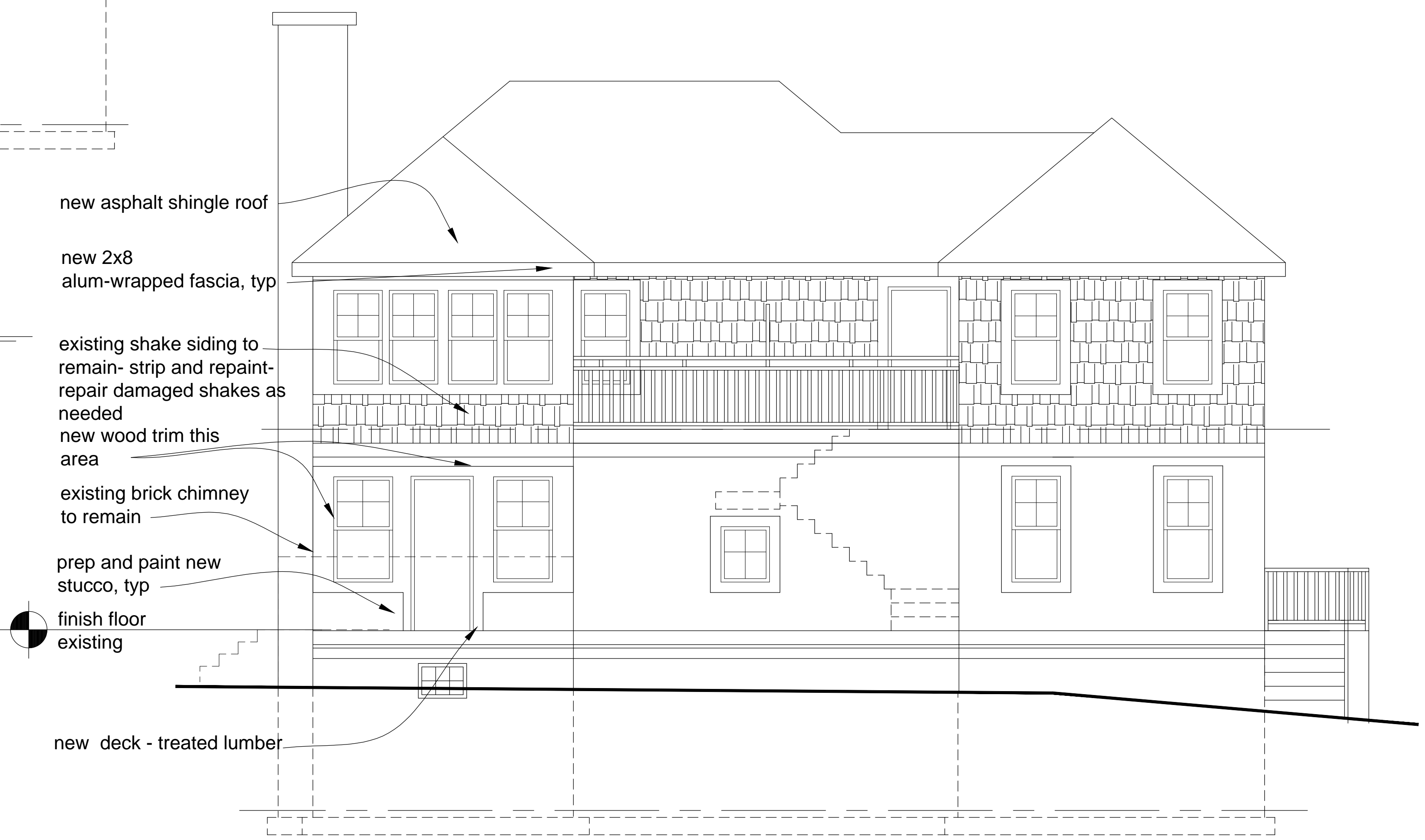
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GENERAL NOTES

1. PROVIDE NEW CEDAR SHAKES OR STUCCO FINISH WHERE WINDOWS OR DOORS WERE INFILLED
2. REFERENCE PLANS AND WINDOW SCHEDULE FOR EGRESS WINDOWS OUT OF SLEEPING AREAS



Urban Alternatives House  
**WEST ELEVATION**  
scale: 1/4"=1'-0"



Urban Alternatives House  
**SOUTH ELEVATION**  
scale: 1/4"=1'-0"

| NO. | REVISIONS / SUBMISSIONS | DATE |
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**Fun**CHITECTURE

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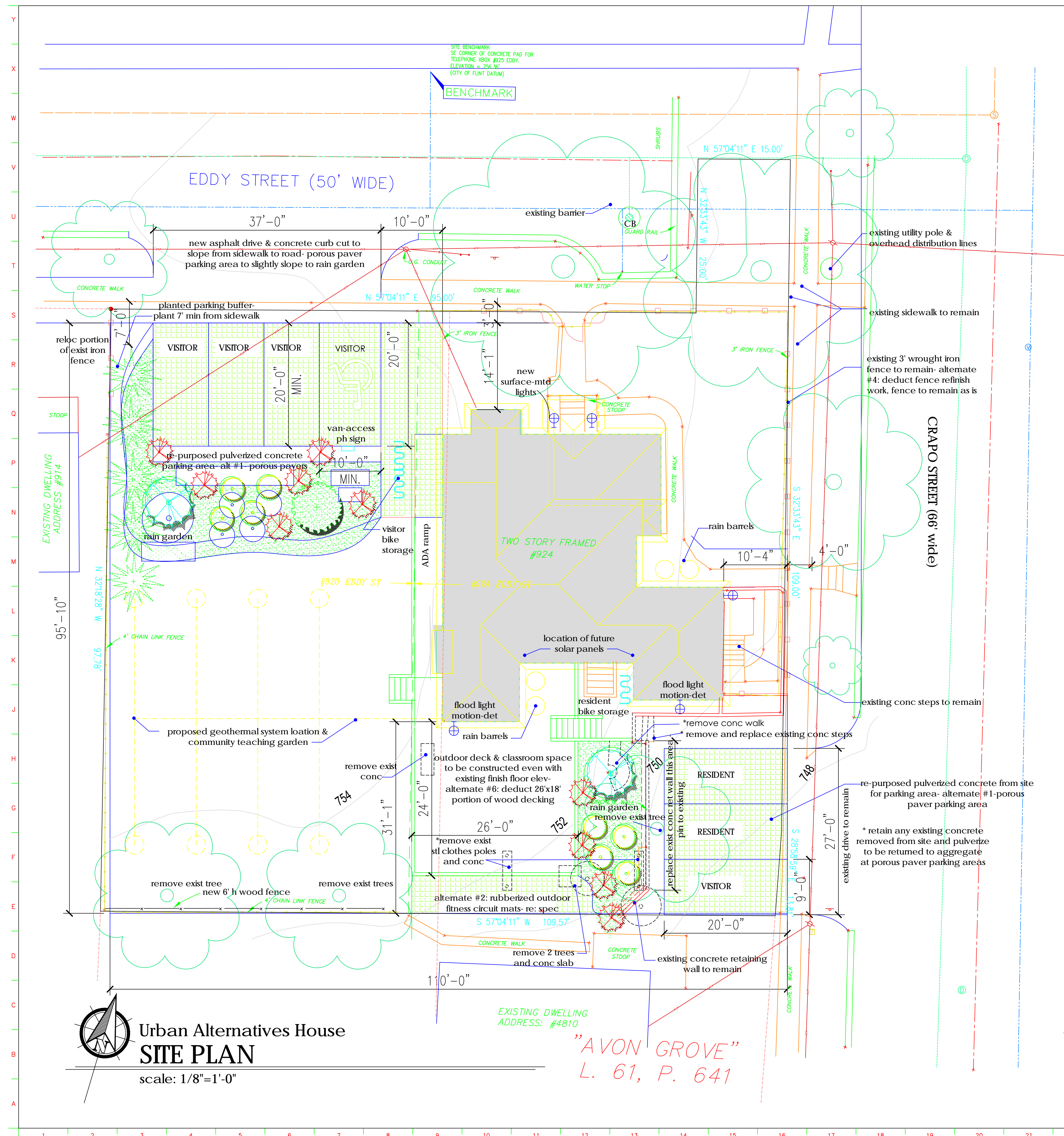
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**ELEVATIONS**

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|      | SCALE<br>1/4"=1'-0" | SHEET NO.<br>___ OF ___ |

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**Development Data:**  
 Developer: The Genesee County Land Bank  
 (in conjunction with University of Michigan Flint)  
 452 S Saginaw St # 200  
 Flint, MI 48502-1832  
 (810) 257-3088  
 Project: URBAN ALTERNATIVES HOUSE  
 924 Eddy St.  
 Flint, MI 48503  
 Architect: FUNchitecture, LLC  
 111 East Court St. Suite 3D  
 Flint, MI 48503  
 Shannon Easter White, AIA, NCARB  
 (810) 287-6668

**Building Area**  
 Basement (unfinished) 780 sf  
 First Floor  
 Shared Lobby, study and Stair 266 sf  
 Classroom and ph unisex 803 sf  
 Apartment 1 First Floor 436 sf  
 TOTAL net sf 1495 sf  
 Second Floor  
 Shared Stair 126 sf  
 Apartment 1 Second Floor 496 sf  
 Apartment 2 Second Floor 743 sf  
 TOTAL net sf 1365 sf  
 \*\* (Note: Apt 1 = 932 total sf / Apt 2 = 743 sf)

**Occupant Load**  
 Classroom 24 actual  
 Apartment 1 2  
 Apartment 2 1  
 Construction Type 5B sprinkled  
 Use Group R-3 (apartments) and B (classroom)  
 Zoning B  
 Parking 4 spots required for the UAH classroom (1 per 200 SF) + 2 required for residential units = 6 total spaces

**Accessibility**  
 Classroom entrance ramp and unisex toilet room  
 Apartments 3 or less - none required

**Fire Separation**  
 1 hour between R-3 and B  
 1/2 hour between R-3 units 1 and 2

**APPLICABLE CODES**  
 2009 MICHIGAN BUILDING CODE  
 ICC / ANSI A117.7 - 2003  
 NFPA LIFE SAFETY CODE - 1997  
 2008 NATIONAL ELECTRICAL CODE  
 2009 MICHIGAN PLUMBING CODE  
 PART 10 RULES, R409.51001 TO R408.51009  
 2009 MICHIGAN MECHANICAL CODE  
 MICHIGAN UNIFORM ENERGY CODE  
 AMERICANS WITH DISABILITIES ACT

| INDEX OF DRAWINGS |                     |
|-------------------|---------------------|
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|                   | ROOF PLAN           |
|                   | BUILDING SECTION    |
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| A104              | ELEVATIONS          |

**LEGAL DESCRIPTIONS**  
 ADDRESS No. 924 EDDY STREET (TAX ID NO. 41-18-226-012):  
 "AVON GROVE", THE EASTERLY 5 FEET OF LOT 5 EXCEPT THE SOUTHERLY 52 FEET AND LOT 6 EXCEPT THE SOUTHERLY 52 FEET, BLOCK 2.

ADDRESS No. 920 EDDY STREET (TAX ID NO. 41-18-226-011):  
 "AVON GROVE", THE WEST 50 FEET OF THE NORTH 98 FEET OF LOT 5, BLOCK 2.



Genesee County Land Bank & University of Michigan-Flint  
 Urban Alternatives House  
 renovations to 924 Eddy Street, Flint, MI 48503

Lot size is approximately 11,000 SF- 15% of site is occupied by exist building  
 Property is Zoned B  
 Minimum front setback is 25', side yard is 10' and rear yard is 30'

**LEGEND:**

- porous paver
- rain garden
- existing wrought iron fence
- existing topography line
- Techny Arborvitae
- Dogwood or Serviceberry
- Bayberry
- Chokecherry or Elderberry Shrubs
- Daylilies or Black Eyed Susans or Blue Flag Iris
- Exterior Light Fixture
- Existing Catch Basin to remain

**MERIDIAN LAND SURVEYING**  
 (810) 691-3918 www.meridianls.com  
 555 SOUTH SAGINAW STREET SUITE 201  
 CITY OF FLINT MICHIGAN 48502

| NO. | REVISIONS / SUBMISSIONS | DATE |
|-----|-------------------------|------|
|     |                         |      |
|     |                         |      |

**FUNCHITECTURE**

111 east court street suite 3D flint, michigan 48502  
 Genesee County Land Bank & University of Michigan-Flint  
 Urban Alternatives House  
 924 Eddy Street  
 Flint, MI

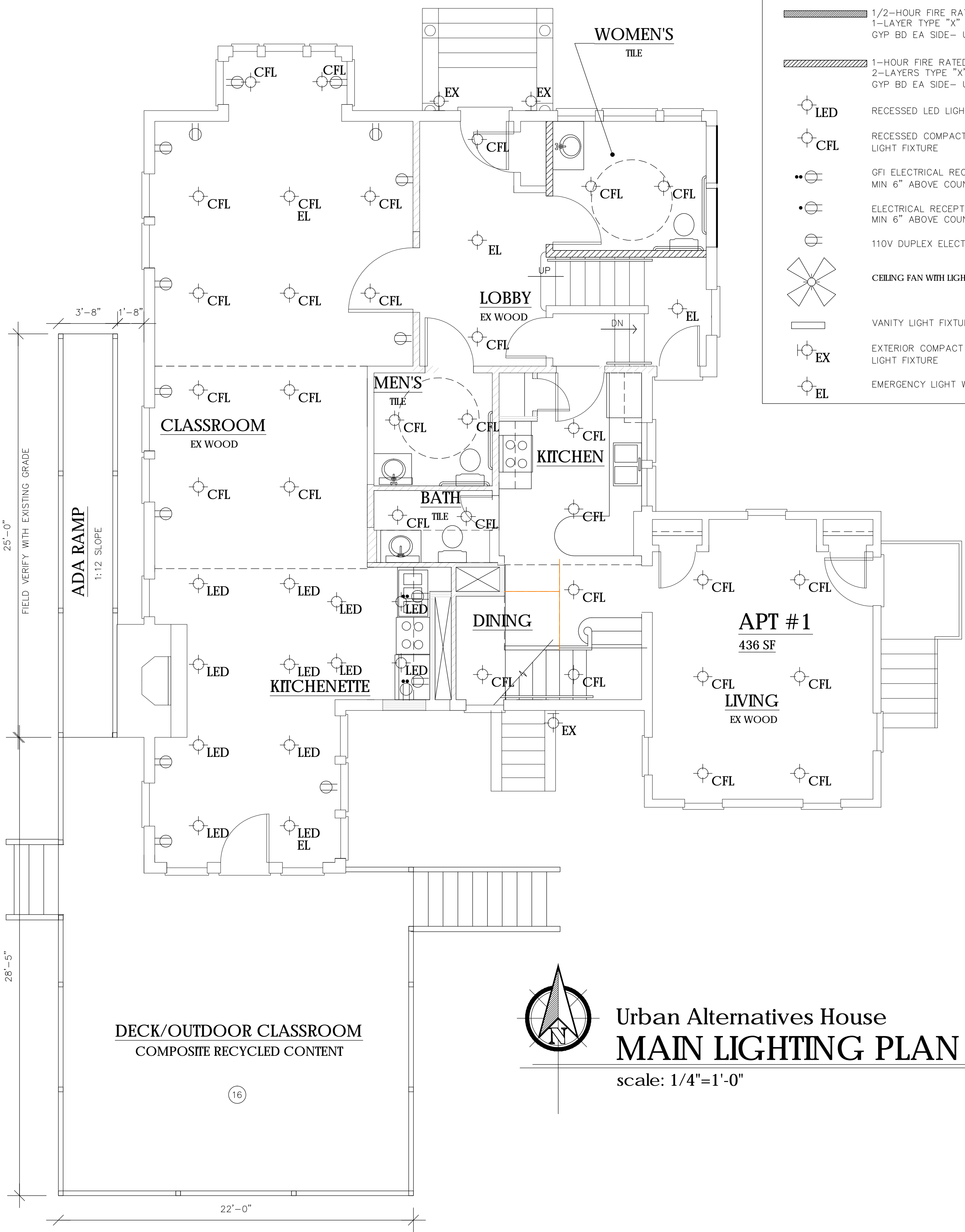
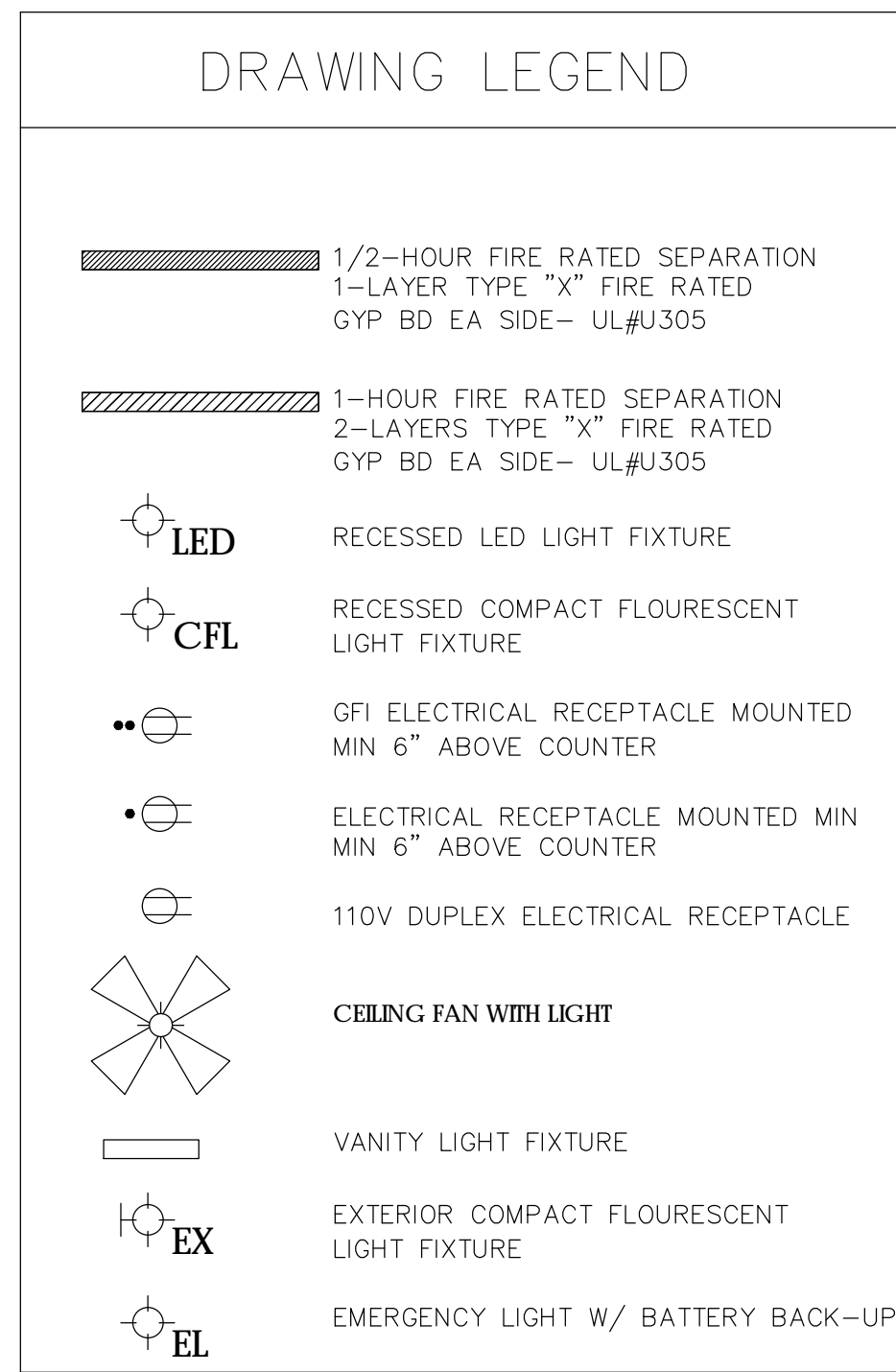
DRAWING TITLE  
**Site Plan**

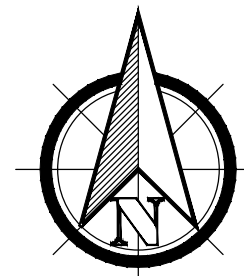
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| SEAL | DRAWN<br>sew        | PROJECT NO.<br>KC01 |
|      | REVIEWED<br>sew     | CAD FILE NO.        |
|      | DATE<br>3/20/12     | DRAWING NO.         |
|      | SCALE<br>1/8"=1'-0" | <b>C101</b>         |
|      |                     | SHEET NO.           |
|      |                     | OF                  |

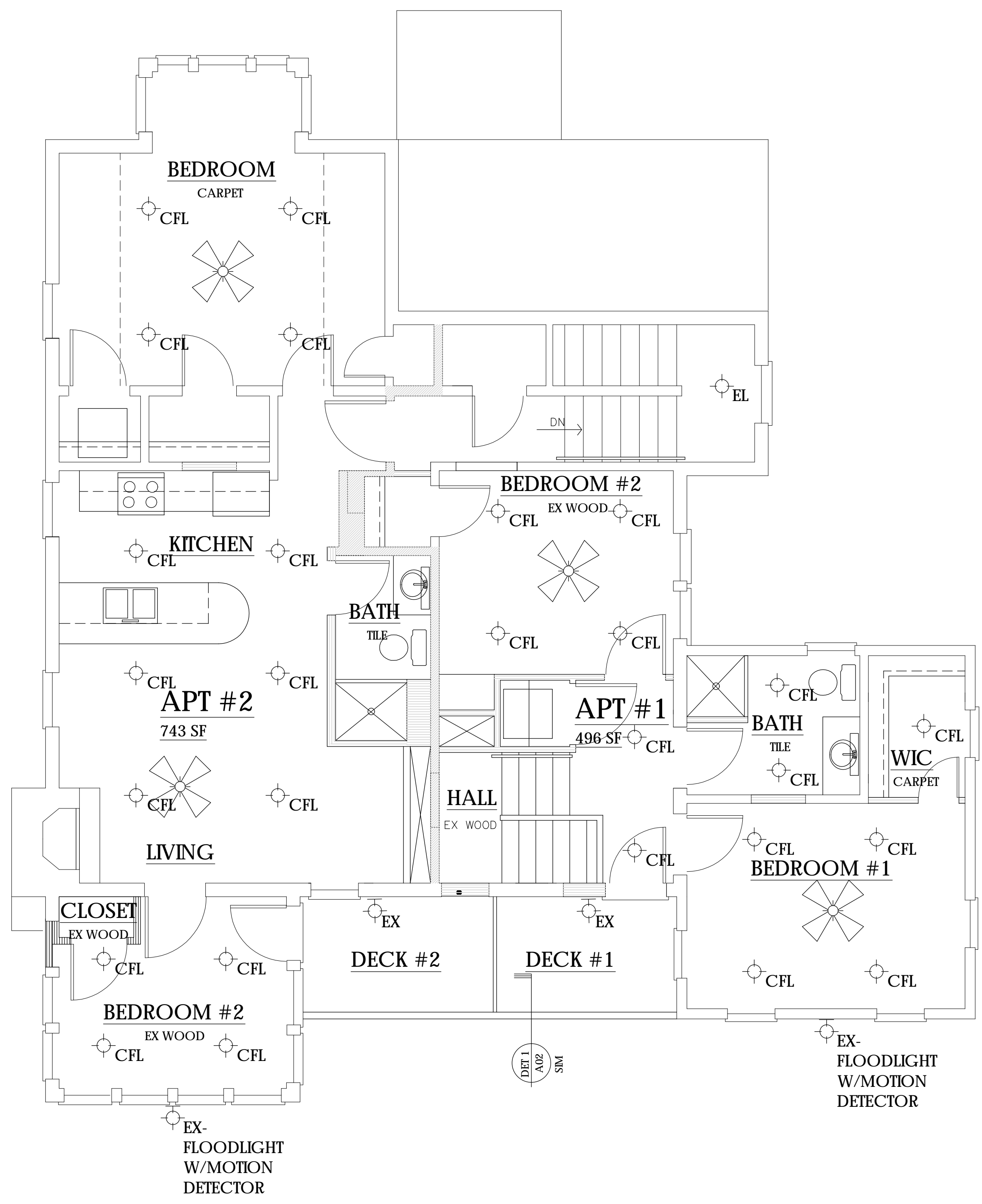
**Urban Alternatives House**  
**SITE PLAN**  
 scale: 1/8"=1'-0"

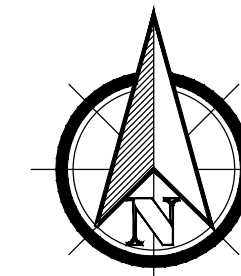
"AVON GROVE"  
 L. 61, P. 641





 Urban Alternatives House  
**MAIN LIGHTING PLAN**  
scale: 1/4"=1'-0"



 Urban Alternatives House  
**UPPER LIGHTING PLAN**  
scale: 1/4"=1'-0"

**Fun**CHITECTURE

111 east court street suite 3D flint, michigan 48502  
Genesee County Land Bank &  
University of Michigan-Flint  
**Urban Alternatives House**  
924 Eddy Street  
Flint, MI

DRAWING TITLE  
**LIGHTING PLANS**

|      |                     |                    |
|------|---------------------|--------------------|
| SEAL | DRAWN<br>SA         | PROJECT NO.<br>E01 |
|      | REVIEWED<br>sew     | DRAWING NO.<br>E01 |
|      | DATE<br>3/20/12     | SHEET NO.<br>OF    |
|      | SCALE<br>1/4"=1'-0" |                    |

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**COMBINATION LEAD BASED PAINT  
INSPECTION AND  
RISK ASSESSMENT SURVEY**

**FOR THE PROPERTY KNOWN AS:**

924 Eddy

Flint, MI 48503

Owner's name: Genesee County Land Bank

Owner's Phone #: (810) 257-3088

Current Occupant's name: Vacant Residence

Date of Construction: 1920's



**PREPARED FOR:**

Genesee County Land Bank  
452 S. Saginaw Street, 2nd Floor  
Flint, MI 48502  
(810) 257-3088

**LABWORK PROVIDED BY**

Accurate Analytical Testing (AAT)  
(734) 699-5227  
NLLAP # 100986

**DATE(S) OF ASSESSMENT:**

May 27, 2011

**REPORT PREPARED AND SUBMITTED BY:**

Michael Gravlin  
EPA Certified Lead Risk Assessor  
Certification #: P-00313

ETC Job#: 137076

38900 West Huron River Drive, Romulus, MI 48174

PHONE: (734) 955-6600 FAX: (734) 955-6604

WEBSITE: [www.2etc.com](http://www.2etc.com)

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- C. Project Limitations and Problems

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- C. Environmental Protection Agency (EPA):
- D. Occupational Safety and Health Administration (OSHA):
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**ETC - Environmental Services WILCO Environmental**

| <p align="center"><b>Summary of<br/>Existing Lead Based Paint Hazards including<br/>Abatement and Interim Control Options</b></p>  |                               |              |   |   |
|--|-------------------------------|--------------|---|---|
| <i>Client</i>  | Genesee County Land Bank      |              |   |   |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |   |   |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |   |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |   |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <p align="center"><b>Please note-due to the extreme extent of lead paint and lead paint hazards present at this site, it is strongly recommended that the entire property be contained to the extent possible and all work performed in a lead safe manner until all lead abatement is complete and final clearance has been achieved.</b></p>   |                               |              |   |   |
| <b>Hazards throughout Home</b>   |                               |              |   |   |
| <b>Dust levels in some window troughs / wells</b> within the home were found to have elevated lead levels. Therefore, <b>all</b> window troughs should be considered to be lead contaminated.  | High                          | High         | The risk assessor believes that these high lead levels were caused by other lead hazards dealt with below. Therefore, after having completed all other abatement / interim control options, clean the entire house for lead dust thoroughly using the accepted HEPA-Wash-HEPA cleaning methods. | The risk assessor believes that these high lead levels were caused by other lead hazards dealt with below. Therefore, after having completed all other abatement / interim control options, clean the entire house for lead dust thoroughly using the accepted HEPA-Wash-HEPA cleaning methods. |
| <b>Dust levels in some window sills / stools</b> within the home were found to have elevated lead levels. Therefore, <b>all</b> window sills should be considered to be lead contaminated.   | High                          | High         | The risk assessor believes that these high lead levels were caused by other lead hazards dealt with below. Therefore, after having completed all other abatement / interim control options, clean the entire house for lead dust thoroughly using the accepted HEPA-Wash-HEPA cleaning methods. | The risk assessor believes that these high lead levels were caused by other lead hazards dealt with below. Therefore, after having completed all other abatement / interim control options, clean the entire house for lead dust thoroughly using the accepted HEPA-Wash-HEPA cleaning methods. |
| <b>Dust levels on some floors</b> within the home were found to have elevated lead levels. Therefore, <b>all</b> floors should be considered to be lead contaminated.  | High                          | High         | The risk assessor believes that these high lead levels were caused by other lead hazards dealt with below. Therefore, after having completed all other abatement / interim control options, clean the entire house for lead dust thoroughly using the accepted HEPA-Wash-HEPA cleaning methods. | The risk assessor believes that these high lead levels were caused by other lead hazards dealt with below. Therefore, after having completed all other abatement / interim control options, clean the entire house for lead dust thoroughly using the accepted HEPA-Wash-HEPA cleaning methods. |



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| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>A majority of window components including all window stops, sash interiors and extriors, jambs, troughs and storm sashes throughout the hom, including all basement level</b> were found to present lead hazards, rather than listing each on a room by room basis, <b>all deteriorated window components</b> should be considered lead hazards.  | High                          | High         | 1) Remove and replace with new replacement windows or 2) replace individual lead painted components 3) enclose all lead painted surfaces or 4) strip all surfaces bare to the substrate, make necessary repairs, stabilize surfaces, and repaint.   | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, covers, etc.) to reduce wear or<br>2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>A majority of window trim components including window aprons, stools and casings (includes all rosettes and mullions) including basement level</b> were found to present lead hazards, rather than listing each on a room by room basis, <b>all deteriorated window components</b> should be considered lead hazards.   | High                          | High         | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant (should include a bittering agent or other bite inhibitor product) or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |
| <b>A majority of door and closet casings</b> were found to present lead hazards, rather than listing each on a room by room basis, <b>all deteriorated door and closet casings</b> should be considered lead hazards.  | Medium                        | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.  | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |
| <b>Hazards on Property (Not Home)</b>  |                               |              |   |   |
| Soil levels around the <b>perimeter of the house</b> were found to be elevated for lead content.   | Medium                        | Low          | 1) Remove top 6 inches of soil and replace with new soil then seed to grass, cover with ground cover or 2) enclose with concrete or asphalt   | Clean soil surface of any paint chips or LBP debris, blend top 6 inches of soils with those below by tilling, cover with landscape fabric and groundcover (woodchips, decorative stone, etc...).  |
| Visible <b>paint chips and debris</b> is present on the ground   | High                          | High         | Remove all visible paint chips and construction debris.   | Remove all visible paint chips and construction debris.   |

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| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options  |
| <b>Exterior House 28</b>   |                               |              |   |  |
| <b>The entire exterior of the house is lead painted and the majority of components are in hazardous condition. This includes all exterior walls (including upper shake siding, foundations and porch walls), window sills and casings (including basement level, door casings, soffits, fascias, frieze boards, crown moldings, drip and skirting boards and corner boards.</b>  | High                          | High         | 1) Wrap walls with Tyvek or equivalent, apply foam insulation board, seal all seams and install a new vinyl or aluminum siding system, including wrapping and enclosure of all trim components with vinyl or aluminum, or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved, exterior grade encapsulate or 3) strip all surfaces bare to the substrate, make necessary repairs, stabilize surfaces, and repaint or 4) replace individual lead painted components | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces, install vinyl or aluminum siding and wrap with aluminum or vinyl |
| <b>Side A porch ceiling ,beams and column-Side C porch apron columns and lattice work</b> represents deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose by wrapping with vinyl or aluminum and seal or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved, exterior grade encapsulate or 3) Remove and replace with new components or 4) strip surfaces bare to the substrate, make necessary repairs, stabilize surfaces, and repaint   | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and wrap with aluminum or vinyl                                   |
| <b>Awning, joists and supports</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose by wrapping with vinyl or aluminum and seal or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved, exterior grade encapsulate or 3) Remove and replace with new components or 4) strip surfaces bare to the substrate, make necessary repairs, stabilize surfaces, and repaint   | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and wrap with aluminum or vinyl                                   |
| <b>Exterior conduit</b> represents a deteriorated lead paint surface hazard  | High                          | High         | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.  | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.  |

**ETC - Environmental Services WILCO Environmental**

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| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Side C porch rails and balusters</b> represent deteriorated lead paint friction/impact surface hazards  | High                          | High         | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Crawl access and casing</b> represents a deteriorated lead paint friction/impact surface hazard   | High                          | High         | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Front Entry 2</b>   |                               |              |   |   |
| <b>Entry door threshold</b> represents deteriorated lead paint friction/impact surface hazards   | High                          | High         | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Lower Sun Room 4</b>  |                               |              |   |   |
| <b>Floors</b> represent deteriorated lead paint friction/impact surface hazards  | High                          | High         | 1) Enclose with Luann or other suitable flooring material or 2) Remove and replace flooring material or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. Note: Floors should be abated last. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces, paint and cover with new floor covering (tread covers, carpet, vinyl tile, etc...) material.  |
| <b>Door, jamb, stops and threshold</b> represent deteriorated lead paint friction/impact surface hazards   | High                          | High         | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |

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| Identified Hazard  | Severity                      | Priority     | Abatement Options  | Interim Control Options  |
| <b>Stucco walls</b> represent deteriorated lead paint surface hazards  | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.  | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material        |
| <b>Fascia boards</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Hallway 5</b>   |                               |              |  |  |
| <b>Stair risers</b> represent deteriorated lead paint friction/impact surface hazards  | High                          | High         | 1) Enclose with Luann or other suitable flooring material or 2) Remove and replace flooring material or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. Note: Floors should be abated last.  | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces, paint and cover with new floor covering (tread covers, carpet, vinyl tile, etc...) material. |
| <b>Walls and ceiling</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.  | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material        |
| <b>Stair stringers and archway casings</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.  |

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| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |  |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |  |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |  |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options  | Interim Control Options   |
| <b>Multi-Use Room 6</b>  |                               |              |  |   |
| <b>Walls and ceiling</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.  | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material   |
| <b>Doors</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards  | High                          | High         | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.  | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Crown Moldings</b> represents deteriorated lead paint surface hazard(s)   | Low                           | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |
| <b>Cabinet interior</b> represents deteriorated lead paint surface hazards   | Medium                        | Low          | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.  | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material   |

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| Summary of<br>Existing Lead Based Paint Hazards including<br>Abatement and Interim Control Options  |                               |          |   |   |
|---|-------------------------------|----------|---|---|
| Client  | Genesee County Land Bank      |          |   |   |
| Survey Location:  | 924 Eddy St., Flint, MI 48503 |          |   |   |
| Survey Date:  | 65-27-2011                    | Job#:    |   |   |
| Inspectors:   | Michael Gravlin               |          |   |   |
| <p><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |          |   |   |
| Identified Hazard   | Severity                      | Priority | Abatement Options   | Interim Control Options   |
| <b>Multi-Use Room 8</b>   |                               |          |   |   |
| <b>Entry door, jamb, stops and threshold</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards (please note some components were inaccessible and must be considered hazards)  | High                          | High     | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Closet stops</b> represent deteriorated lead paint surface hazards   | Medium                        | Medium   | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Baseboards</b> represent deteriorated lead paint surface hazards   | Medium                        | Medium   | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install stops at all contact points with other building components (I.E. doors, etc...) or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install stops at all contact points with other building components (I.E. doors, etc...)   |
| <b>Radiator pipe valve</b> represents a deteriorated lead paint surface hazards   | Low                           | Low      | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.                                      | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |

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| <p align="center"><b>Summary of<br/>Existing Lead Based Paint Hazards including<br/>Abatement and Interim Control Options</b></p>  |                               |              |   |   |
|--|-------------------------------|--------------|---|---|
| <i>Client</i>  | Genesee County Land Bank      |              |   |   |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |   |   |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |   |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |   |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Bathroom 9</b>  |                               |              |   |   |
| <b>Walls and ceiling</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant. | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material   |
| <b>Bathtub</b> represents a deteriorated lead paint surface hazards  | High                          | High         | 1) Remove and replace with new bathtub or 2) Strip all surfaces bare to the substrate, make necessary repairs and recoat.   | Wet scrape/sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install rubber non-slip bath mats to reduce wear. DO NOT use abrasive cleaners in tub. ALWAYS drain water after each use-DO NOT REUSE BATHWATER Other recommendations 1) Abate as soon as possible 2) Take showers only 3) Take baths as quickly as possible  |
| <b>Kitchen 10</b>  |                               |              |   |   |
| <b>Entry door, jamb, stops and threshold</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards (please note some components were inaccessible and must be considered hazards)   | High                          | High         | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.                     | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Walls and ceiling</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant. | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material   |

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| <b>Summary of Existing Lead Based Paint Hazards including Abatement and Interim Control Options</b>  |                               |              |   |   |
|--|-------------------------------|--------------|---|---|
| <i>Client</i>  | Genesee County Land Bank      |              |   |   |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |   |   |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |   |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |   |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Doors and jambs</b> represent deteriorated lead paint friction/impact surface hazards   | High                          | High         | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.                     | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Closet door</b> represents a deteriorated lead paint friction/impact surface hazard   | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.                     | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Dining Room 11</b>  |                               |              |   |   |
| <b>Doors and jambs</b> represent deteriorated lead paint friction/impact surface hazards   | High                          | High         | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.                     | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Walls and ceiling, including closet</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant. | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material   |



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| <b>Summary of<br/>Existing Lead Based Paint Hazards including<br/>Abatement and Interim Control Options</b>  |                               |              |   |   |
|--|-------------------------------|--------------|---|---|
| <i>Client</i>  | Genesee County Land Bank      |              |   |   |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |   |   |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |   |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |   |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Baseboards</b> represent deteriorated lead paint surface hazards  | Medium                        | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install stops at all contact points with other building components (I.E. doors, etc...) or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install stops at all contact points with other building components (I.E. doors, etc...)   |
| <b>Door casings</b> represent deteriorated lead paint surface hazards  | Medium                        | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.                                      | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |
| <b>Fireplace mantle</b> represents a deteriorated lead paint surface hazards   | Medium                        | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.                                      | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |
| <b>Main Stairway 12</b>  |                               |              |   |   |
| <b>Closet doors, jambs and stops</b> represent deteriorated lead paint friction/impact surface hazards   | High                          | High         | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |

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| <b>Summary of<br/>Existing Lead Based Paint Hazards including<br/>Abatement and Interim Control Options</b>  |                               |              |   |  |
|--|-------------------------------|--------------|---|--|
| <i>Client</i>  | Genesee County Land Bank      |              |   |  |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |   |  |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |   |  |
| <i>Inspectors:</i>   | Michael Gravlin               |              |   |  |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |   |  |
| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options  |
| <b>Baseboards</b> represent deteriorated lead paint surface hazards  | Medium                        | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install stops at all contact points with other building components (I.E. doors, etc...) or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install stops at all contact points with other building components (I.E. doors, etc...)  |
| <b>Closet shelves</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards   | Medium                        | Low          | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Balusters</b> represent deteriorated lead paint surface hazards   | Medium                        | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.                                      | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Closet shelves</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards   | Medium                        | Low          | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |

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| <b>Summary of<br/>Existing Lead Based Paint Hazards including<br/>Abatement and Interim Control Options</b>  |                               |              |   |   |
|--|-------------------------------|--------------|---|---|
| <i>Client</i>  | Genesee County Land Bank      |              |   |   |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |   |   |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |   |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |   |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Master Bedroom 13</b>   |                               |              |   |   |
| <b>Entry door, jamb, stops and threshold</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards (please note some components were inaccessible and must be considered hazards)   | High                          | High         | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint. | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Interior doors, jambs and stops</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards  | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint. | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Closet jamb and stops</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards  | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint. | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |

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| <b>Summary of<br/>Existing Lead Based Paint Hazards including<br/>Abatement and Interim Control Options</b>  |                               |              |   |   |
|--|-------------------------------|--------------|---|---|
| <i>Client</i>  | Genesee County Land Bank      |              |   |   |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |   |   |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |   |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |   |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Baseboards</b> represent deteriorated lead paint surface hazards  | Medium                        | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install stops at all contact points with other building components (I.E. doors, etc...) or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install stops at all contact points with other building components (I.E. doors, etc...)   |
| <b>Attic cover casings</b> represent deteriorated lead paint surface hazards   | Medium                        | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.                                      | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |
| <b>Dressing Room 14</b>  |                               |              |   |   |
| <b>Closet jamb and stops</b> represent deteriorated lead paint friction/impact surface hazards   | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Closet shelves</b> represent deteriorated lead paint friction/impact surface hazards  | Medium                        | Low          | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |

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| <p align="center"><b>Summary of<br/>Existing Lead Based Paint Hazards including<br/>Abatement and Interim Control Options</b></p>  |                               |              |   |   |
|--|-------------------------------|--------------|---|---|
| <i>Client</i>  | Genesee County Land Bank      |              |   |   |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |   |   |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |   |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |   |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Bathroom 15</b>   |                               |              |   |   |
| <b>Walls and ceiling</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.   | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material   |
| <b>Door jamb and stops</b> represent deteriorated lead paint friction/impact surface hazards   | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Hallway 16</b>  |                               |              |   |   |
| <b>Baseboards</b> represent deteriorated lead paint surface hazards  | Medium                        | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install stops at all contact points with other building components (I.E. doors, etc...) or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install stops at all contact points with other building components (I.E. doors, etc...)   |
| <b>Bedroom 17</b>  |                               |              |   |   |
| <b>Door, jamb and stops</b> represent deteriorated lead paint friction/impact surface hazards  | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |

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| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
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| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Closet doors, jambs and stops</b> represent deteriorated lead paint friction/impact surface hazards   | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Baseboards including closets</b> represent deteriorated lead paint surface hazards  | Medium                        | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install stops at all contact points with other building components (I.E. doors, etc...) or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install stops at all contact points with other building components (I.E. doors, etc...)   |
| <b>Closet shelves</b> represent deteriorated lead paint friction/impact surface hazards  | Medium                        | Low          | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |

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| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
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| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Closest shelf brackets</b> represent deteriorated lead paint surface hazards  | Medium                        | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.                                      | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |
| <b>Bedroom 18</b>  |                               |              |   |   |
| <b>Closest doors, jambs and stops</b> represent deteriorated lead paint friction/impact surface hazards  | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Baseboards including closets</b> represent deteriorated lead paint surface hazards  | Medium                        | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install stops at all contact points with other building components (I.E. doors, etc...) or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install stops at all contact points with other building components (I.E. doors, etc...)   |

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| <i>Inspectors:</i>   | Michael Gravlin               |              |   |   |
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| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options   |
| <b>Closet shelves</b> represent deteriorated lead paint friction/impact surface hazards  | Medium                        | Low          | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Upper Sun Room 19</b>   |                               |              |   |   |
| <b>Doors, jambs and stops (side A)</b> represent deteriorated lead paint friction/impact surface hazards   | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.                     | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Bathroom 20</b>   |                               |              |   |   |
| <b>Walls</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant. | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material   |
| <b>Doors, jambs and stops</b> represent deteriorated lead paint friction/impact surface hazards  | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.                     | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |



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| Identified Hazard  | Severity                      | Priority     | Abatement Options  | Interim Control Options  |
| <b>Crown Moldings</b> represent deteriorated lead paint surface hazards  | Low                           | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Cabinet interior</b> represents deteriorated lead paint surface hazards   | Medium                        | Low          | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.  | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material        |
| <b>Radiator</b> represent deteriorated lead paint surface hazards  | Medium                        | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Rear Stairway 21</b>  |                               |              |  |  |
| <b>Walls and ceiling</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.  | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material        |
| <b>Stair treads and risers</b> represent deteriorated lead paint friction/impact surface hazards   | High                          | High         | 1) Enclose with Luann or other suitable flooring material or 2) Remove and replace flooring material or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. Note: Floors should be abated last.  | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces, paint and cover with new floor covering (tread covers, carpet, vinyl tile, etc...) material. |

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| <i>Inspectors:</i>  | Michael Gravlin               |              |  |

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| <b>Identified Hazard</b>  | <b>Severity</b> | <b>Priority</b> | <b>Abatement Options</b>  | <b>Interim Control Options</b>  |
|---|-----------------|-----------------|---|---|
| <b>Door jambs and stops</b> represent deteriorated lead paint friction/impact surface hazards                     | Medium          | Medium          | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Railing caps and newal posts</b> represent deteriorated lead paint friction/impact surface hazards             | High            | Medium          | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all  |
| <b>Railing caps and newal posts</b> represent deteriorated lead paint friction/impact surface hazards             | High            | Medium          | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Baseboards</b> represent deteriorated lead paint surface hazards   | Medium          | Medium          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install stops at all contact points with other building components (I.E. doors, etc...) or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint. Install stops at all contact points with other building components (I.E. doors, etc...)   |
| <b>Balusters, lower rails, stair stringers and wall casings</b> represent deteriorated lead paint surface hazards | Medium          | Low             | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.                                      | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |

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| <b>Identified Hazard</b>  | <b>Severity</b>               | <b>Priority</b> | <b>Abatement Options</b>  | <b>Interim Control Options</b>  |
| <b>Cabinet exterior and doors</b> represents deteriorated lead paint friction/impact surface hazards  | Medium                        | Low             | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Basement Stair 22</b>  |                               |                 |   |   |
| <b>Walls and ceiling including lower walls and wainscoatings</b> represent deteriorated lead paint surface hazards  | High                          | High            | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.                           | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material   |
| <b>Entry door, jamb, stops and threshold</b> represent deteriorated lead paint friction/impact surface hazards (please note some components were innacessible and must be considered hazards)   | High                          | High            | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.   | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Stair risers</b> represent deteriorated lead paint friction/impact surface hazards   | High                          | High            | 1) Enclose with Luann or other suitable flooring material or 2) Remove and replace flooring material or 3) strip all surfaces bare to the substrate, make necessary repairs and recoat. Note: Floors should be abated last. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces, paint and cover with new floor covering (tread covers, carpet, vinyl tile, etc...) material.  |

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| Identified Hazard  | Severity                      | Priority     | Abatement Options   | Interim Control Options  |
| <b>Ledges and corner trim</b> represent deteriorated lead paint surface hazards  | Medium                        | Low          | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant, install guards on all edges or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat. | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Shelves</b> represent deteriorated lead paint friction/impact surface hazards   | Medium                        | Low          | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.  | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <p align="center"><b>Please note-due to the extreme extent of lead paint and lead paint hazards present in the basement and the strong possibitiy of missed items due to lack of light and no clean out it is recomended that items throughout the basement rooms be treated as positive for lead paint</b></p>  |                               |              |   |  |
| <b>Hazards Throughout Basement</b>   |                               |              |   |  |
| <b>Walls (perimeter and partition), ceilings and chimney</b> represent deteriorated lead paint surface hazards   | High                          | High         | 1) Enclose with drywall or other suitable wallboard material or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant.   | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and cover with suitable wallboard material  |

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| <p align="center"><b>Summary of<br/>Existing Lead Based Paint Hazards including<br/>Abatement and Interim Control Options</b></p>  |                               |              |  |   |
|--|-------------------------------|--------------|--|---|
| <i>Client</i>  | Genesee County Land Bank      |              |  |   |
| <i>Survey Location:</i>  | 924 Eddy St., Flint, MI 48503 |              |  |   |
| <i>Survey Date:</i>  | 65-27-2011                    | <b>Job#:</b> |  |   |
| <i>Inspectors:</i>   | Michael Gravlin               |              |  |   |
| <p align="center"><b>The items listed here represent the lead based paint hazards found at this building/site. For each identified hazard, there are corresponding options for performing abatement (long term) fixes and interim control (shorter term) fixes. The client and/or their representative need to select the appropriate and affordable solution to address each of the identified hazards.</b></p> <p align="center"><b>*Always refer to the Potential Hazard Chart (Appendix C) to determine where other lead painted items may be located as not to create additional hazards during the course of the work. If these items are disturbed, lead safe work practices must be followed.</b></p> <p align="center"><b>*Selected abatement and interim control activities should be completed by a certified abatement contractor or when appropriate a certified renovation firm. After completing these activities, complete and thorough cleaning must be performed following EPA/HUD "Lead Safe Work Practices Procedures". Additionally, after all work has been completed, a final lead clearance should be conducted and may be required. It is the responsibility of the person(s) performing the lead hazard control work to ensure that all appropriate procedures and regulations are followed.</b></p> |                               |              |  |   |
| Identified Hazard  | Severity                      | Priority     | Abatement Options  | Interim Control Options   |
| <b>Doors, jams, stops and thresholds-including entries</b> represent deteriorated lead paint <b>friction/impact</b> surface hazards  | Medium                        | Medium       | 1) Remove and replace with new door systems or 2) replace individual lead painted components or 3) strip all surfaces bare to the substrate, stabilize surfaces, and repaint.  | 1) Refit door to eliminate friction points, wet scrape/sand all surfaces, make necessary repairs, including installation of weatherstripping or other "soft" stop material, stabilize all surfaces and repaint 2) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 3) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint. |
| <b>Beams and support poles</b> represent deteriorated lead paint surface hazards   | Medium                        | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat 4) box in with sealed enclosures | 1) Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint or 2) stabilize all surfaces and box in with unsealed enclosures  |
| <b>Cabinet and bookcase components including exteriors, interiors shelves, drawers, doors, framing and brackets</b> represents deteriorated lead paint <b>friction/impact</b> surface hazard(s)  | High                          | Medium       | 1) Remove and replace with new components or 2) strip all surfaces bare to the substrate, make necessary repairs and recoat.   | 1) Use friction reduction treatments (jamb liners, weatherstripping, rubber padding, tread covers, etc.) to reduce wear or 2) Wet plane all friction / impact surfaces, wet scrape all remaining surfaces, make necessary repairs, stabilize all surfaces and repaint.  |
| <b>Pipes</b> represent deteriorated lead paint surface hazards   | High                          | Medium       | 1) Remove and replace with new components or 2) wet scrape/sand all surfaces, make necessary repairs, stabilize surfaces and encapsulate with a Michigan approved encapsulant or 3) strip all surfaces bare to the substrate (either chemically or using mechanical wet methods), make necessary repairs and recoat.                                 | Wet scrape / sand all surfaces, make necessary repairs, stabilize all surfaces and repaint.   |



***During the course of this lead combination investigation:***

***Lead Based Paint was identified on some components***

***Lead Based Paint Hazards were identified in some areas***

**II.) PURPOSE AND SCOPE OF WORK**

Attached here within are the results of a lead based paint (LPB) combination inspection and risk assessment (combination survey) performed by Michael Gravlin of ETC - Environmental Services (ETC). This combination survey was performed for Genesee County Land Bank at 924 Eddy in Flint, MI 48503. The site work was performed on May 27, 2011 by Michael Gravlin. Michael Gravlin is an EPA certified lead risk assessor and has completed the manufacturer's training course regarding radiation safety and x-ray measurement technology.

The purpose of a lead combination survey is to identify any existing lead paint and/or lead hazards that might exist within the residence. The process of identifying all lead based paint in a residence is referred to as a lead inspection while identifying all lead hazards in a residence is a risk assessment. It has become common in the industry to perform both of these services at one time and this is referred to as a lead combination survey. Although this report represents both services, for the purposes of discussion, we will discuss the methods and goals of inspections and risk assessments separately.

**A. Lead Inspections**

ETC's inspection started by breaking down the dwelling into separate functional areas. For the testing of paint, each functional area was then broken down into different building components, according to the various colors and substrates. Samples were collected using a X-Ray Fluorescence (XRF) analyzer. The XRF uses radioactive cadmium to determine the amount of lead located within each surface tested. At the time of this report, HUD has defined Lead-Based Paint (LBP) as paint with an average concentration of 1.0 mg/cm<sup>2</sup>, or greater using the XRF technology. Test results for this residence that can be compared against the HUD and EPA standards can be found in Appendix A.

In cases where the XRF detected LBP and the paint was in poor condition (cracked, peeling, chalking, etc.) the inspector may recommended further testing be done. Additional samples such as dust wipes, vacuum samples, air samples or soil samples may be warranted in the areas where the paint is poor condition.

### B. Lead Risk Assessments

A lead risk assessment attempts to identify lead hazards that may exist within a home. Lead hazards are defined in an important lead regulation called Title X, the Title X definition includes the following six items:

1. Lead paint that is deteriorated (flaking, chipped, peeling, etc.) in poor condition as defined by Title X.
2. Lead paint on a friction surface (i.e. rubbing doors, sliding windows, etc.) where associated dust levels exceed safe limits.
3. Lead paint on an impact surface (i.e. door jambs, stair treads, etc.) where the impact is caused by another building component.
4. Lead paint on a chewable surface (i.e. window sills, shelves, etc.) where there is visible evidence of teeth marks.
5. Lead contaminated dust where levels exceed safe limits.
6. Lead contaminated soils where levels exceed safe limits.

A lead risk assessment attempts to identify hazards by taking a series of dust, soil and deteriorated paint samples and comparing them to associated limits developed by HUD and EPA.

### C. Project Limitations and Problems

Throughout the course of any LBP combination there can be a number of problems including: areas or surfaces that could not be tested, inaccessible areas, locked doors, problems due to inclement weather, etc. During this combination there may have been materials or items that could not be tested or sampled. These materials must be assumed to be lead based paint and treated as such. The items / materials that could not be tested and must therefore be assumed to be lead painted include:

- Several window exteriors—See XRF results
- Basement did not get cleaned out + no lights; items may have been missed

There may have also been unusual circumstances for this project that may have affected the project. The unusual circumstances existing at 924 Eddy included:

- Overall condition of the house is poor, house exterior is stucco, factory paneling in rooms 3, 6, 8 and 11, multi-use rooms may have been used as bedrooms in the past.

- X-Ray Fluorescence (XRF) is a non-destructive type of paint testing. Inspectors do not remove items that are fastened shut, down, together or otherwise made to impede access. Drop ceiling tiles, furniture, equipment, and other items are not removed by the inspectors, those areas should be made to be accessible to the inspector by the building owner. Excessive storage conditions, deferred cleaning practices, and unsafe building conditions could be cause for a building component to not be tested. If a building component is present but does not show up on the inspection report it should be considered to be lead painted unless it was installed after 1978 or has a factory finish on it.
- It is also possible that wall hangings, flags, banners, pictures wall shelving units and large furniture may hide damage to wall surfaces. If those items are covering up damage, it could change the classification of that component from intact or fair to poor. If this is the case, treat those damaged surfaces as though they are a hazard.
- Bare soil areas will change with usage, weather and other factors beyond the control of the risk assessor who wrote this report.

### III.) REGULATORY INFORMATION

#### A. Title X

In October of 1992 the Residential Lead-Based Paint Hazard Reduction Act was passed. This was a sweeping act aimed at reducing the exposure to Americans to lead hazards. The regulation affected all areas of the population. As part of Title X, many other agencies were charged with responsibilities in assuring the LBP's were addressed. OSHA was required to pass a construction standard, HUD was required to promulgate specific and definitive rules for addressing Public and Indian housing and the EPA was required to pass regulations for real estate disclosure, pre-renovation disclosure, training and certification programs for people working on or with LBP and rules for conducting renovation activities safely following "lead safe work practices". This act is the base from which all other regulations affecting LBP have grown.

#### B. Department of Housing and Urban Development (HUD) Regulations

By recognizing lead based paint (LBP) as a potential health hazard, HUD became the lead federal agency in the identification of lead hazards and has the primary responsibility to regulate LBP in Public or Indian housing. HUD has generated guidelines and performed extensive research to develop comprehensive requirements for LBP inspections, risk assessments and lead abatement or removal activities. These guidelines are enforceable in Public or Indian housing projects or any other project where HUD funds are dispersed. This includes most community development block grant (CDBG) funds as well as other housing assistance as provided by HUD, VA, etc. These methods represent the "State of the Art" technology for lead activities. At this point, EPA has developed similar rules that are in force in all housing and child occupied facilities and are enforced on a State by State basis.

If the work to be completed on this project is federally, state or locally funded, it is likely the full HUD regulations will apply. HUD program requirements for most projects are determined by the amount of money spent on the project. In general the requirements are:



***For all projects where the rehabilitation costs will be between \$0 - \$25,000***

Genesee County Land Bank or their contractors (as you determine) may choose any combination of the following three (3) options to address the hazards found in the executive summary.

- all interim control options
- some interim controls and some abatement options
- or all abatement options

Also, please note that anytime even one abatement option is chosen, the contractor and their employees must be fully certified licensed through the State of Michigan – Lead Program to perform any abatement work.

***For all projects where the rehabilitation costs will exceed \$25,000***

In this case, Genesee County Land Bank or their contractors (as you determine) must chose ONLY abatement options to address the hazards identified.

This has serious repercussions for Genesee County Land Bank as abatement options are almost always more expensive than interim controls and this price difference between \$24,999 and \$25,001 may require large extra lead expenses to the program costs for this property. *You may wish to share this information with all of your selected contractors so they better understand the potential cost increases when their bid price exceeds \$25,000.*

Please note, this is only a general outline and the HUD regulations are very complex. For instance some costs on a project (i.e. the initial risk assessment and final clearance) may not count toward the rehabilitation costs. For further information, refer to the HUD guidelines or contact a ETC representative.

**C. Environmental Protection Agency (EPA):**

Recently, EPA adopted HUD guidelines for conducting LBP inspections, risk assessments and abatement work practices for lead issues. Both HUD and EPA define Lead-based Paint (LBP) as an average concentration of 1.0 mg/cm<sup>2</sup> when using XRF technology and 1/2 % by weight when reviewing paint chips.

- EPA Real Estate Disclosure Act: EPA issued a regulation to insure that families receive information necessary to protect themselves from LBP hazards when purchasing, renting or leasing an older home. In order to accomplish this, the EPA required information to be disseminated during real estate transfers. This act requires sellers and landlords to:
  - Disclose all known information on LBP and hazards in the housing.
  - Complete a Federal disclosure form, including a lead warning statement, provide a copy to the purchaser/prospect, and retain it for three years.
  - Provide purchasers/prospective tenants with an EPA pamphlet on lead hazards.
  - Sellers are also required to give purchasers a 10-day opportunity to conduct a LBP inspection or risk assessment before becoming obligated to purchase the housing.

Agents are required to ensure that the seller or leaser comply with these requirements or perform these requirements themselves. Failure of the seller, leaser, or agent to comply could result in being sued for damages, and being subjected to civil and criminal penalties, such as potential fines and imprisonment.

- EPA Pre-Renovation Rule (PRE): Additionally, EPA issued a regulation to insure contractors warn occupants considering construction within their residence of the possibility that lead dust could be created and work with the selected contractor to reduce this possibility. This act requires renovation contractors of older homes to:
  - Discuss information on LBP and hazards that could be created during a renovation project.
  - Provide purchasers/prospective tenants with an EPA pamphlet on lead hazards and get a signature or other evidence of delivery.
  - This regulation also recommended that all renovations in older housing be completed by trained persons following lead safe work practices.
- EPA Renovation, Repair and Painting Rule (RRP): The most recent EPA regulation (April 2010) regarding LBP was the RRP. This regulation substantially changed requirements for all contractors performing renovations in older housing. This act requires renovation contractors of older homes to:
  - Requires all contractors to have a “certified renovator” working on each project to insure that the regulation is followed. Must be on-site during set-up, cleaning and self conducted clearance.
  - Certified renovators must take an 8 hour training class to receive their certification directly from the EPA.
  - Not only do individuals have to become certified, the companies taking contracts for work need to become “Certified Firms”. This involves applying to the EPA and paying a fee.
  - All work on any affected project must be done following lead safe work practices as taught in the class.
  - Requires posting of work area and possibly containment of work space.
  - Requires a final visual wipe test clearance be performed by the “Certified Renovator”. No neutral third party clearance is required but can be done if desired.

#### D. Occupational Safety and Health Administration (OSHA):

Additionally, OSHA has established regulations to prevent high lead exposure to employees working in lead related occupations. Along with establishing a permissible exposure limit (PEL), OSHA, working with the National Institute for Occupational Safety and Health (NIOSH), has mandated engineering, work practice and administrative controls to protect the worker. The current PEL at the time of this report is a concentration no greater than 50 micrograms per cubic meter of air.

#### E. City of Detroit (Ordinances and Codes)

The purpose and intent of the proposed amendments is to protect the health and welfare of children who occupy rented residential dwellings that contain lead-based paint hazards. Part II of this division requires owners of rental property to have a lead inspection and risk assessment performed at the rental property to determine the presence of lead paint and lead-based paint hazards. If lead based paint hazards exist, then the hazards must be reduced and controlled through interim controls or abatement prior to a tenant occupying the rental property. After interim controls or abatement are performed, the owner must obtain a clearance examination. Owners of rental property must obtain a lead clearance pursuant to Part II in order to receive a certificate of compliance from the City. A certificate of compliance is required for occupancy.

#### IV.) SAMPLE RESULTS AND INFORMATION

##### A. Lead Paint Sampling

Lead paint sample results are contained in Appendix B. All types of painted surfaces were tested using X-Ray fluorescence (XRF) technologies. XRF uses gamma photons from a sealed irradiation source to strike the atoms within the painted surface. Most commonly, an isotope of cobalt or cadmium is used to produce gamma photons. Because the source is radioactive, training and certification is required to operate an XRF lead analyzer. All inspectors have received the EPA three day lead inspection training and the manufacturer's XRF training. The radiation safety officer for ETC is Jeremy Westcott.

The serial number of the XRF instrument utilized in this project was 19124. These instruments are registered as radioactive materials with the State of Michigan Department of Environmental Quality. The registration number for these instruments is 031070-01-l01. ETC's representatives handle and operate the XRF instrument in accordance with the manufacturers' directives and methods described in the HUD Guidelines.

ETC's lead testing results are applicable for the time that testing was conducted and for the condition of surfaces at the time they were tested. If questions arise regarding lead content on surfaces that were not tested (or were inaccessible) by ETC, then additional testing services should be solicited to test those surfaces for lead.

##### B. Lead Dust Sampling

For combination surveys, lead dust sampling is required in areas where children are most likely to come into contact with dust. Areas for consideration include: children's bedroom (s), family rooms, play rooms, kitchens, bathrooms, etc. Lead dust samples are to be taken from at least six different rooms with samples from both the floor and either a window sill or window well within each room.

Current limits for lead dust samples taken during combination surveys are as follows in micrograms per square foot ( $\mu\text{g}/\text{ft}^2$ ):

|      | Floors | Window Sills | Window Wells/<br>Troughs | Ext. Concrete |
|------|--------|--------------|--------------------------|---------------|
| HUD  | 40     | 250          | 400                      | 800           |
| EPA  | 40     | 250          | 400                      | 800           |
| OSHA | ~9000  | ~9000        | ~9000                    | ~9000         |

Actual dust level results noted at the 924 Eddy residence are below. Any sample above the allowable regulatory limit is in bold.

| <i>Sample #</i> | <i>Room Location</i>          | <i>Component</i>   | <i>Area Wiped (in sq. ft.)</i> | <i>Lead Concentration (in <math>\mu\text{g}/\text{ft}^2</math>)</i> |
|-----------------|-------------------------------|--------------------|--------------------------------|---|
| <b>WS 1</b>     | <b>Sunroom 4 side a</b>       | <b>Window sill</b> | <b>0.33</b>                    | <b>827.00</b>   |
| <b>WS 2</b>     | <b>Sunroom 4</b>              | <b>Floor</b>       | <b>1.00</b>                    | <b>2692.00</b>  |
| <b>WS 3</b>     | <b>Kitchen 10 side c</b>      | <b>Window sill</b> | <b>0.33</b>                    | <b>2071.00</b>  |
| <b>WS 4</b>     | <b>Kitchen 10</b>             | <b>Floor</b>       | <b>1.00</b>                    | <b>454.00</b>   |
| <b>WS 5</b>     | <b>Living room 1 side d</b>   | <b>Trough</b>      | <b>0.33</b>                    | <b>25410.00</b>   |
| <b>WS 6</b>     | <b>Living room 1</b>          | <b>Floor</b>       | <b>1.00</b>                    | <b>158.00</b>   |
| <b>WS 7</b>     | <b>Front Stairs 12 side b</b> | <b>Window sill</b> | <b>0.33</b>                    | <b>1098.00</b>  |
| <b>WS 8</b>     | <b>Front Stairs 12</b>        | <b>Floor</b>       | <b>1.00</b>                    | <b>1400.00</b>  |
| <b>WS 9</b>     | <b>Bedroom 13 side b</b>      | <b>Window sill</b> | <b>0.33</b>                    | <b>814.00</b>   |
| <b>WS 10</b>    | <b>Bedroom 13</b>             | <b>Floor</b>       | <b>1.00</b>                    | <b>364.00</b>   |
| <b>WS 11</b>    | <b>Stairwell 22 side b</b>    | <b>Window sill</b> | <b>0.33</b>                    | <b>2297.00</b>  |
| <b>WS 12</b>    | <b>Stairwell 22</b>           | <b>Floor</b>       | <b>1.00</b>                    | <b>4096.00</b>  |

Any high dust levels noted here represent lead hazards and are included in the hazard charts in the Executive Summary. This chart details the lead dust problems identified (or lack thereof) within this residence. *Please keep in mind that if lead dust samples were not taken in each room of the residence the samples that were taken will be used to represent overall conditions in the residence.* This means that areas that were not individually sampled may be listed as having problems based upon the sampling that was conducted in other areas.

### C. Lead Soil Sampling

Lead soil sampling is required in areas where bare exposed soil is present around the house and the yard. Areas for consideration include: house perimeter, gardens, play areas, driveways, etc. Lead soil samples will only be taken if bare exposed soils exist. Sampling usually involves three areas: play areas where children are likely to come in contact with soil, the perimeter of the home (i.e. gardens, etc.) and other non-play areas of the yard where contact is less likely.

Current limits for lead soil samples taken during combination surveys are as follows in parts per million (ppm):

|     | Play Areas | House Perimeter or Other Areas of Yard |
|-----|------------|--|
| HUD | 400        | 1200                                   |
| EPA | 400        | 1200                                   |

Actual soil results for the 924 Eddy residence can be found in the chart below. Any sample above the allowable regulatory limit is in bold.

|             | Location                  | Results (parts per million) |
|-------------|---------------------------|-----------------------------|
| <b>SS-1</b> | <b>Perimeter of House</b> | <b>4516</b>                 |

Any high soil levels noted here represent lead hazards and are included in the hazard charts in the Executive Summary. This chart details the lead soil problems identified (or lack thereof) within this residence. Please keep in mind that lead soil samples are composite samples where a small portion is taken from four or five different locations to make up the one sample. Therefore the results of this one sample represent all of the different areas where the separate pieces were acquired. Play areas and non-play areas should never be mixed in the same sample

## **V.) HAZARD CONTROL OPTION RECOMMENDATIONS**

Types of hazards that may have been identified during the lead combination include both identified hazards and potential hazards. Identified hazards include paint, dust and soil hazards that fit the six (6) hazard definitions of HUD and the EPA detailed above. For each identified hazard, hazard control options (recommendations) are given to explain how to address any problems identified in the sampling. In the case of the 924 Eddy property, hazard control options can be found in the Executive Summary Chart.

Potential hazards are areas of the residence where the occupant or owner may be completing renovation activities in the future. If future renovation activities were identified, these areas were sampled using the XRF instrument to determine lead content. If the paint in these areas was found to be above  $1.0 \text{ mg/cm}^2$ , they were listed as potential hazards. This is required as the up-coming renovation activities will likely disturb the paint and possibly create lead based dust hazards that do not currently exist. It is critical that the homeowner (or selected renovation contractor) follow "lead safe work practices" when working on the potential hazards to avoid creating lead dust hazards. A list of potential hazards identified during the combination can be found in Appendix C.

## **VI.) RE-EVALUATION RECOMMENDATIONS**

Anytime lead paint or hazards remain in the building and are not completely removed, the risk assessor is required to make recommendations for re-evaluating the building. This is the recommended time when the homeowner should hire a certified risk assessor to determine whether (1) conditions at the home have changed possibly causing additional hazards, (2) the initial hazard control options implemented have been effective or (3) if further work is warranted. The frequency of re-evaluations recommended is dependent on both the risk assessment results and the hazard control options that are chosen and implemented.

At the time of producing this risk assessment, the risk assessor can only be sure of the current conditions, but can not know for sure which hazard control options will be selected. For this reason, ETC has chosen to include a re-evaluation chart in Appendix F. To determine the re-evaluation frequency recommended for this residence, please refer to this chart and reference Schedule 4 & 6 as given in the chart. This schedule was chosen based upon the results of the initial risk assessment. After finding the appropriate schedule, the homeowner / building manager / owner will need to know which hazard control options were conducted. By knowing the appropriate schedule (Schedule 4 & 6) and the hazard control selected (chosen by the owner) you can determine the recommended re-evaluation frequency.

If you do not wish to follow the chart, you can opt to follow the most stringent re-evaluation frequency that would be to re-evaluate at: 6 months, then 1 year then 2 years.

## VII.) COST ESTIMATE

HUD and EPA regulations require the risk assessor to provide cost estimates for possible work to be completed. Below find a rough estimate of costs associated with lead remediation activities.

|                                    |                |                       |                       |
|------------------------------------|----------------|-----------------------|-----------------------|
| Encapsulation                      | \$3.50 sq. ft. | Enclosure wood        | \$4.00 sq. ft.        |
| Wet plane friction & impact points | \$2.50 sq. ft. | Enclosure metal       | \$5.00 sq. ft.        |
| Wet scrape and repaint             | \$2.00 sq. ft. | Enclosure drywall     | \$2.50 sq. ft.        |
| Window replacement                 | \$500 each     | Door replacement      | \$750.00 each.        |
| Dust removal-clean up              | \$1.25 sq. ft. | Soil abatement        | \$10.00 sq. ft.       |
| Siding Installation                | \$2.75 sq. ft. | Component replacement | 5 times material cost |

## VIII.) RECOMMENDATIONS FOR FUTURE OPERATIONS AND MAINTENANCE

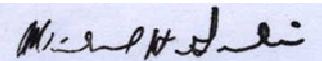
It is very important to note that future disturbance of lead painted surfaces may cause new and additional lead hazards. Homeowners, building managers and landlords are expected to follow "lead safe work practices" any time that a lead painted surface is disturbed. This means making sure very little dust is generated (i.e. wet sanding not dry sanding), not burning lead painted items, cleaning up thoroughly after work, etc.

In order to provide guidance for the owners, managers and landlords when conducting renovation, maintenance or potential future disturbance of painted surfaces, they should refer to an excellent manual developed by HUD titled "Lead Paint Safety: A Field Guide for Painting, Home Maintenance, and Renovation Work". This manual can be found for free on the Internet at <http://www.hud.gov/offices/lead/training/LBPguide.pdf>. Please download a copy of this manual before disturbing any painted surfaces within the residence. If access to the Internet is not available, you may order a copy at 1-800-424-5323.

If you have any questions not answered by this manual, please contact our office at (734) 955-6600. Thank you.

This report reviewed and submitted by

**ETC – Environmental Services**



Michael Gravlin (Cert. # P-00313)  
EPA / Michigan Certified Risk Assessor

## ETC - Environmental Services WILCO Environmental

### APPENDIX A

#### All Paint Samples Taken - In Order Sampled

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |               | Genesee County Land Bank      |                          |                        |             |                  |               |      |             |                 |                                  |  |
|------------------|---------------|-------------------------------|--------------------------|------------------------|-------------|------------------|---------------|------|-------------|-----------------|----------------------------------|--|
| Survey Location: |               | 924 Eddy St., Flint, MI 48503 |                          |                        |             |                  |               |      |             |                 |                                  |  |
| Survey Date:     |               | 65-27-2011                    |                          |                        |             |                  |               |      |             |                 |                                  |  |
| Inspectors:      |               | Michael Gravin                |                          |                        | License #   | P-00313          |               |      | Job#        | 137076          |                                  |  |
| Sample #         | Floor         | Wall / Side                   | Room and #               | Component              | Substrate   | Visual Condition | Color         | Note | Depth Index | Result          | mg/cm <sup>2</sup> +/- Precision |  |
| 303              | Second        | D                             | Master Bedroom 13        | Clos. Wall             | Plaster     | POOR             | White         |      | 1.83        | Negative        | 0.07 +/- 0.08                    |  |
| 304              | Second        | D                             | Master Bedroom 13        | Clos. Ceiling          | Plaster     | POOR             | White         |      | 2.26        | Negative        | -0.2 +/- 1.16                    |  |
| <b>305</b>       | <b>Second</b> | <b>A</b>                      | <b>Master Bedroom 13</b> | <b>Door Casing</b>     | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>3.72</b> | <b>Positive</b> | <b>3.8 +/- 2.7</b>               |  |
| <b>306</b>       | <b>Second</b> | <b>A</b>                      | <b>Master Bedroom 13</b> | <b>Door Jamb</b>       | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>10</b>   | <b>Positive</b> | <b>7.5 +/- 3.7</b>               |  |
| <b>307</b>       | <b>Second</b> | <b>A</b>                      | <b>Master Bedroom 13</b> | <b>Door Stop</b>       | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>4.1</b>  | <b>Positive</b> | <b>6.3 +/- 3.4</b>               |  |
| <b>308</b>       | <b>Second</b> | <b>A</b>                      | <b>Master Bedroom 13</b> | <b>Door</b>            | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>10</b>   | <b>Positive</b> | <b>15.9 +/- 11.4</b>             |  |
| 309              | Second        | B                             | Master Bedroom 13        | Radiator               | Metal       | POOR             | White         |      | 4.86        | Negative        | 0.21 +/- 0.37                    |  |
| 310              | Second        | B                             | Master Bedroom 13        | Win. Apron             | Wood        | POOR             | White         |      | 3.11        | Negative        | 0.11 +/- 0.12                    |  |
| 311              | Second        | B                             | Master Bedroom 13        | Win. Sill/Stool        | Wood        | POOR             | White         |      | 3.03        | Negative        | 0.11 +/- 0.08                    |  |
| <b>312</b>       | <b>Second</b> | <b>B</b>                      | <b>Master Bedroom 13</b> | <b>Win. Casing</b>     | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>6.45</b> | <b>Positive</b> | <b>10.2 +/- 8.6</b>              |  |
| <b>313</b>       | <b>Second</b> | <b>B</b>                      | <b>Master Bedroom 13</b> | <b>Win. Apron</b>      | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>7.28</b> | <b>Positive</b> | <b>10.5 +/- 4.5</b>              |  |
| <b>314</b>       | <b>Second</b> | <b>B</b>                      | <b>Master Bedroom 13</b> | <b>Win. Stop</b>       | <b>Wood</b> | <b>FAIR</b>      | <b>White</b>  |      | <b>8.86</b> | <b>Positive</b> | <b>7.4 +/- 3.6</b>               |  |
| <b>315</b>       | <b>Second</b> | <b>B</b>                      | <b>Master Bedroom 13</b> | <b>Win. Sash</b>       | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>8.15</b> | <b>Positive</b> | <b>9.4 +/- 4.1</b>               |  |
| 316              | Second        | B                             | Master Bedroom 13        | change table           | Wood        | POOR             | White         |      | 1           | Negative        | 0 +/- 0.03                       |  |
| <b>317</b>       | <b>Second</b> | <b>C</b>                      | <b>Master Bedroom 13</b> | <b>Door Casing</b>     | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>10</b>   | <b>Positive</b> | <b>2.4 +/- 1.4</b>               |  |
| <b>318</b>       | <b>Second</b> | <b>C</b>                      | <b>Master Bedroom 13</b> | <b>Door Jamb</b>       | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>4.3</b>  | <b>Positive</b> | <b>10.1 +/- 8.5</b>              |  |
| <b>319</b>       | <b>Second</b> | <b>C</b>                      | <b>Master Bedroom 13</b> | <b>Entry door</b>      | <b>Wood</b> | <b>POOR</b>      | <b>Green</b>  |      | <b>3.34</b> | <b>Positive</b> | <b>3.5 +/- 2.3</b>               |  |
| <b>320</b>       | <b>Second</b> | <b>C</b>                      | <b>Master Bedroom 13</b> | <b>Entry door</b>      | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>10</b>   | <b>Positive</b> | <b>2.9 +/- 1.7</b>               |  |
| <b>321</b>       | <b>Second</b> | <b>C</b>                      | <b>Master Bedroom 13</b> | <b>Door Threshold</b>  | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>10</b>   | <b>Positive</b> | <b>3.5 +/- 2</b>                 |  |
| 322              | Second        | C                             | Master Bedroom 13        | Shelf                  | Wood        | FAIR             | White         |      | 7.51        | Negative        | 0.2 +/- 0.42                     |  |
| 323              | Second        | Ceiling                       | Master Bedroom 13        | Ceiling                | Wood        | POOR             | White         |      | 1           | Negative        | 0 +/- 0.02                       |  |
| 324              | Second        | Floor                         | Master Bedroom 13        | Floor                  | Wood        | POOR             | Red           |      | 1.05        | Negative        | 0.6 +/- 0.4                      |  |
| 325              | Second        | Floor                         | Master Bedroom 13        | Floor                  | Wood        | POOR             | Grey          |      | 1           | Negative        | 0.4 +/- 0.3                      |  |
| 326              | Second        | Floor                         | Dressing room 14         | Floor                  | Wood        | POOR             | Clear / Stain |      | 1           | Negative        | 0 +/- 0.04                       |  |
| 327              | Second        | A                             | Dressing room 14         | Wall                   | Plaster     | POOR             | White         |      | 5.09        | Negative        | 0.29 +/- 0.57                    |  |
| 328              | Second        | B                             | Dressing room 14         | Wall                   | Plaster     | POOR             | White         |      | 10          | Negative        | 0.3 +/- 0.58                     |  |
| 329              | Second        | C                             | Dressing room 14         | Wall                   | Plaster     | POOR             | Paper         |      | 7.41        | Negative        | 0.14 +/- 0.29                    |  |
| 330              | Second        | D                             | Dressing room 14         | Wall                   | Plaster     | POOR             | Paper         |      | 7.75        | Negative        | 0.09 +/- 0.27                    |  |
| 331              | Second        | Ceiling                       | Dressing room 14         | Ceiling                | Plaster     | POOR             | White         |      | 10          | Negative        | 0.4 +/- 0.6                      |  |
| 332              | Second        | D                             | Dressing room 14         | Door Casing            | Wood        | FAIR             | White         |      | 5.29        | Negative        | 0.17 +/- 0.14                    |  |
| 333              | Second        | D                             | Dressing room 14         | Door Casing            | Wood        | POOR             | White         |      | 5.38        | Negative        | 0.17 +/- 0.13                    |  |
| 334              | Second        | D                             | Dressing room 14         | Door                   | Wood        | POOR             | White         |      | 7.8         | Negative        | 0.4 +/- 0.2                      |  |
| 335              | Second        | C                             | Dressing room 14         | Win. Apron             | Wood        | FAIR             | White         |      | 3.54        | Negative        | 0.12 +/- 0.09                    |  |
| 336              | Second        | C                             | Dressing room 14         | Win. Sill/Stool        | Wood        | POOR             | White         |      | 4.96        | Negative        | 0.15 +/- 0.27                    |  |
| 337              | Second        | C                             | Dressing room 14         | Win. Casing            | Wood        | POOR             | White         |      | 6.03        | Negative        | 0.16 +/- 0.28                    |  |
| 338              | Second        | C                             | Dressing room 14         | Win. Stop              | Wood        | POOR             | White         |      | 3.02        | Negative        | 0.12 +/- 0.08                    |  |
| <b>339</b>       | <b>Second</b> | <b>C</b>                      | <b>Dressing room 14</b>  | <b>Win. Sash</b>       | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>10</b>   | <b>Positive</b> | <b>9.1 +/- 8</b>                 |  |
| <b>340</b>       | <b>Second</b> | <b>C</b>                      | <b>Dressing room 14</b>  | <b>Win. Sash, ext.</b> | <b>Wood</b> | <b>POOR</b>      | <b>White</b>  |      | <b>1.66</b> | <b>Positive</b> | <b>17.9 +/- 12.5</b>             |  |



## ETC - Environmental Services WILCO Environmental

### APPENDIX A

#### All Paint Samples Taken - In Order Sampled

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |        | Genesee County Land Bank      |                  |                  |           |                  |               |      |             |          |                                  |  |
|------------------|--------|-------------------------------|------------------|------------------|-----------|------------------|---------------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |                  |                  |           |                  |               |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |                  |                  |           |                  |               |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravin                |                  |                  | License # | P-00313          |               |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and #       | Component        | Substrate | Visual Condition | Color         | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 341              | Second | C                             | Dressing room 14 | Win. Well/Trough | Wood      | POOR             | White         |      | 1.77        | Positive | 2.8 +/- 1.6                      |  |
| 342              | Second | C                             | Dressing room 14 | Win. Jamb        | Wood      | POOR             | White         |      | 1.55        | Positive | 23.6 +/- 14.8                    |  |
| 343              | Second | B                             | Dressing room 14 | Radiator         | Metal     | POOR             | White         |      | 1           | Negative | 0 +/- 0.03                       |  |
| 344              | Second | A                             | Dressing room 14 | Clos. Casing     | Wood      | POOR             | White         |      | 2.96        | Negative | 0.12 +/- 0.13                    |  |
| 345              | Second | A                             | Dressing room 14 | Clos. Jamb       | Wood      | POOR             | White         |      | 5.6         | Positive | 1.4 +/- 0.3                      |  |
| 346              | Second | A                             | Dressing room 14 | Clos. Stop       | Wood      | POOR             | White         |      | 5.96        | Positive | 2.2 +/- 0.8                      |  |
| 347              | Second | A                             | Dressing room 14 | Clos. Door       | Wood      | POOR             | White         |      | 3.3         | Negative | 0.7 +/- 0.2                      |  |
| 348              | Second | A                             | Dressing room 14 | Clos. Shelf      | Wood      | POOR             | White         |      | 3.8         | Positive | 1.4 +/- 0.4                      |  |
| 349              | Second | A                             | Dressing room 14 | Shelf Bracket    | Wood      | FAIR             | White         |      | 2.52        | Negative | 0.12 +/- 0.27                    |  |
| 350              | Second | A                             | Dressing room 14 | Clos. Wall       | Plaster   | POOR             | White         |      | 3.01        | Negative | 0.4 +/- 0.5                      |  |
| 351              | Second | A                             | Dressing room 14 | Clos. Wall       | Plaster   | POOR             | White         |      | 2.79        | Negative | 0.02 +/- 0.66                    |  |
| 352              | Second | A                             | Dressing room 14 | Clos. Baseboard  | Wood      | FAIR             | White         |      | 2.21        | Negative | 0.13 +/- 0.12                    |  |
| 353              | Second | D                             | Dressing room 14 | Clos. Door       | Wood      | FAIR             | White         |      | 3.9         | Negative | 0.07 +/- 0.27                    |  |
| 354              | Second | D                             | Dressing room 14 | Clos. Door       | Wood      | FAIR             | Clear / Stain |      | 1           | Negative | 0.01 +/- 0.04                    |  |
| 355              | Second | D                             | Dressing room 14 | Plmb. Access     | Wood      | FAIR             | White         |      | 2.71        | Negative | 0.13 +/- 0.15                    |  |
| 356              | Second | D                             | Dressing room 14 | Plmb. Access     | Wood      | FAIR             | White         |      | 3.76        | Negative | 0.2 +/- 0.19                     |  |
| 357              | Second | D                             | Dressing room 14 | Clos. Floor      | Wood      | FAIR             | White         |      | 2.62        | Negative | 0.07 +/- 0.21                    |  |
| 358              | Second | D                             | Dressing room 14 | Clos. Floor      | Wood      | POOR             | Red           |      | 1.21        | Negative | 0.09 +/- 0.16                    |  |
| 359              | Second | A                             | Bathroom 15      | Wall             | Plaster   | POOR             | White         |      | 10          | Positive | 2.4 +/- 1                        |  |
| 360              | Second | B                             | Bathroom 15      | Wall             | Plaster   | POOR             | White         |      | 10          | Positive | 4.2 +/- 3.1                      |  |
| 361              | Second | C                             | Bathroom 15      | Wall             | Plaster   | POOR             | White         |      | 10          | Positive | 2.4 +/- 1                        |  |
| 362              | Second | D                             | Bathroom 15      | Wall             | Plaster   | POOR             | White         |      | 10          | Positive | 1.6 +/- 0.6                      |  |
| 363              | Second | D                             | Bathroom 15      | Ceiling          | Plaster   | POOR             | White         |      | 10          | Positive | 2.6 +/- 1                        |  |
| 364              | Second | A                             | Bathroom 15      | Chair Rail       | Wood      | FAIR             | White         |      | 10          | Positive | 2.7 +/- 1.7                      |  |
| 365              | Second | A                             | Bathroom 15      | Win. Apron       | Wood      | POOR             | White         |      | 10          | Positive | 3.1 +/- 2.1                      |  |
| 366              | Second | A                             | Bathroom 15      | Win. Sill/Stool  | Wood      | POOR             | White         |      | 8.56        | Positive | 3.3 +/- 2.1                      |  |
| 367              | Second | A                             | Bathroom 15      | Win. Casing      | Wood      | POOR             | White         |      | 10          | Positive | 4 +/- 2.8                        |  |
| 368              | Second | A                             | Bathroom 15      | Win. Sash        | Wood      | POOR             | White         |      | 9.55        | Positive | 3.7 +/- 2.6                      |  |
| 369              | Second | A                             | Bathroom 15      | Win. Sash, ext.  | Wood      | POOR             | White         |      | 4.46        | Positive | 16.2 +/- 11.8                    |  |
| 370              | Second | A                             | Bathroom 15      | Win. Jamb        | Wood      | POOR             | White         |      | 5.14        | Positive | 16.7 +/- 11.7                    |  |
| 371              | Second | A                             | Bathroom 15      | Win. Well/Trough | Wood      | POOR             | White         |      | 4.53        | Positive | 10.2 +/- 9.1                     |  |
| 372              | Second | C                             | Bathroom 15      | Door Casing      | Wood      | POOR             | White         |      | 6.51        | Positive | 1.6 +/- 0.6                      |  |
| 373              | Second | C                             | Bathroom 15      | Door Jamb        | Wood      | POOR             | White         |      | 7.18        | Positive | 3.7 +/- 2.1                      |  |
| 374              | Second | C                             | Bathroom 15      | Door Stop        | Wood      | POOR             | White         |      | 7.4         | Positive | 2.3 +/- 0.8                      |  |
| 375              | Second | C                             | Bathroom 15      | Door             | Wood      | POOR             | White         |      | 4.82        | Negative | 0.22 +/- 0.32                    |  |
| 376              | Second | A                             | Bedroom 17       | Wall             | Plaster   | POOR             | Green         |      | 1.64        | Negative | 0.01 +/- 0.03                    |  |
| 377              | Second | B                             | Bedroom 17       | Wall             | Plaster   | POOR             | Green         |      | 7.3         | Negative | 0 +/- 0.76                       |  |
| 378              | Second | C                             | Bedroom 17       | Wall             | Plaster   | POOR             | Green         |      | 9.13        | Negative | 0.15 +/- 0.76                    |  |

**ETC - Environmental Services WILCO Environmental**

**APPENDIX A**

**All Paint Samples Taken - In Order Sampled**

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |        | Genesee County Land Bank      |            |                    |           |                  |               |      |             |          |                                  |  |
|------------------|--------|-------------------------------|------------|--------------------|-----------|------------------|---------------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |            |                    |           |                  |               |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |            |                    |           |                  |               |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravin                |            |                    | License # | P-00313          |               |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and # | Component          | Substrate | Visual Condition | Color         | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 379              | Second | D                             | Bedroom 17 | Wall               | Plaster   | POOR             | Green         |      | 10          | Negative | 0.21 +/- 0.7                     |  |
| 380              | Second | Ceiling                       | Bedroom 17 | Ceiling            | Plaster   | POOR             | Green         |      | 10          | Negative | 0.3 +/- 0.68                     |  |
| 381              | Second | D                             | Bedroom 17 | Baseboard          | Wood      | POOR             | Green         |      | 10          | Positive | 16.3 +/- 12                      |  |
| 382              | Second | D                             | Bedroom 17 | Win. Apron         | Wood      | POOR             | Green         |      | 10          | Positive | 10.3 +/- 8.7                     |  |
| 383              | Second | D                             | Bedroom 17 | Win. Sill/Stool    | Wood      | POOR             | Green         |      | 7.74        | Positive | 11.6 +/- 9.6                     |  |
| 384              | Second | D                             | Bedroom 17 | Win. Casing        | Wood      | POOR             | Green         |      | 10          | Positive | 11.1 +/- 9.2                     |  |
| 385              | Second | D                             | Bedroom 17 | Win. Stop          | Wood      | POOR             | Green         |      | 10          | Positive | 9.1 +/- 7.9                      |  |
| 386              | Second | D                             | Bedroom 17 | Win. Sash          | Wood      | POOR             | Green         |      | 10          | Positive | 7.6 +/- 3.6                      |  |
| 387              | Second | D                             | Bedroom 17 | Win. Sash, ext.    | Wood      | POOR             | White         |      | 10          | Positive | 11.2 +/- 9.2                     |  |
| 388              | Second | D                             | Bedroom 17 | Win. Well/Trough   | Wood      | POOR             | White         |      | 10          | Positive | 10.1 +/- 4.4                     |  |
| 389              | Second | D                             | Bedroom 17 | Win. Jamb          | Wood      | POOR             | White         |      | 2.74        | Positive | 27.1 +/- 16.4                    |  |
| 390              | Second | C                             | Bedroom 17 | Clos. Casing       | Wood      | POOR             | White         |      | 10          | Positive | 10.7 +/- 4.5                     |  |
| 391              | Second | C                             | Bedroom 17 | Clos. Door         | Wood      | POOR             | White         |      | 10          | Positive | 9.8 +/- 8.6                      |  |
| 392              | Second | C                             | Bedroom 17 | Clos. Jamb         | Wood      | POOR             | White         |      | 5.69        | Positive | 7.2 +/- 3.7                      |  |
| 393              | Second | C                             | Bedroom 17 | Clos. Stop         | Wood      | POOR             | White         |      | 2.96        | Positive | 1.8 +/- 0.7                      |  |
| 394              | Second | C                             | Bedroom 17 | Clos. Casing in.   | Wood      | POOR             | White         |      | 7.47        | Positive | 7.6 +/- 3.6                      |  |
| 395              | Second | C                             | Bedroom 17 | Clos. Shelf        | Wood      | POOR             | White         |      | 5.14        | Positive | 1.3 +/- 0.3                      |  |
| 396              | Second | C                             | Bedroom 17 | Shelf Bracket      | Wood      | POOR             | White         |      | 5.56        | Positive | 2 +/- 0.7                        |  |
| 397              | Second | C                             | Bedroom 17 | Clos. Baseboard    | Wood      | POOR             | White         |      | 10          | Positive | 10.4 +/- 8.9                     |  |
| 398              | Second | C                             | Bedroom 17 | Clos. Wall         | Plaster   | POOR             | White         |      | 1.36        | Negative | 0.04 +/- 0.03                    |  |
| 399              | Second | C                             | Bedroom 17 | Clos. Ceiling      | Plaster   | POOR             | White         |      | 2.08        | Negative | 0.3 +/- 0.64                     |  |
| 400              | Second | C                             | Bedroom 17 | Door Casing        | Wood      | POOR             | Green         |      | 10          | Positive | 10 +/- 4.4                       |  |
| 401              | Second | C                             | Bedroom 17 | Door Jamb          | Wood      | POOR             | White         |      | 5.61        | Positive | 9.8 +/- 4.3                      |  |
| 402              | Second | C                             | Bedroom 17 | Door Stop          | Wood      | POOR             | White         |      | 2.04        | Positive | 4 +/- 2.7                        |  |
| 403              | Second | C                             | Bedroom 17 | Door               | Wood      | POOR             | Green         |      | 10          | Positive | 10.4 +/- 9                       |  |
| 404              | Second | A                             | Bedroom 17 | Radiator           | Metal     | POOR             | Brown         |      | 1.05        | Negative | 0.09 +/- 0.1                     |  |
| 405              | Second | Floor                         | Bedroom 17 | Floor              | Wood      | POOR             | Red           |      | 1           | Negative | 0.06 +/- 0.11                    |  |
| 406              | Second | Floor                         | Bedroom 17 | Floor              | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0.06 +/- 0.11                    |  |
| 407              | Second | Floor                         | Hallway 16 | Floor              | Wood      | POOR             | Clear / Stain |      | 1.84        | Negative | 0.07 +/- 0.18                    |  |
| 408              | Second | A                             | Hallway 16 | Wall               | Plaster   | POOR             | White         |      | 2.51        | Negative | 0.04 +/- 0.08                    |  |
| 409              | Second | B                             | Hallway 16 | Wall               | Plaster   | POOR             | White         |      | 2.26        | Negative | 0.04 +/- 0.06                    |  |
| 410              | Second | C                             | Hallway 16 | Wall               | Plaster   | POOR             | White         |      | 2.8         | Negative | 0.05 +/- 0.1                     |  |
| 411              | Second | D                             | Hallway 16 | Wall               | Plaster   | POOR             | White         |      | 3.29        | Negative | 0.05 +/- 0.09                    |  |
| 412              | Second | Ceiling                       | Hallway 16 | Ceiling            | Plaster   | POOR             | White         |      | 2.16        | Negative | 0.04 +/- 0.07                    |  |
| 413              | Second | D                             | Hallway 16 | Baseboard          | Wood      | POOR             | White         |      | 10          | Positive | 12 +/- 9.9                       |  |
| 414              | Second | A                             | Hallway 16 | Door Casing        | Wood      | POOR             | White         |      | 10          | Positive | 9.1 +/- 4.1                      |  |
| 415              | Second | B                             | Hallway 16 | Laundry Chute Door | Wood      | FAIR             | White         |      | 10          | Positive | 7 +/- 3.5                        |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX A

#### All Paint Samples Taken - In Order Sampled

*Please note: Post 1978 Construction, factory finished and unpainted items were not sampled*

| Client           |        | Genesee County Land Bank      |            |                    |           |                  |               |      |             |          |                                  |  |
|------------------|--------|-------------------------------|------------|--------------------|-----------|------------------|---------------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |            |                    |           |                  |               |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |            |                    |           |                  |               |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravlin               |            |                    | License # | P-00313          |               |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and # | Component          | Substrate | Visual Condition | Color         | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 416              | Second | B                             | Hallway 16 | Laundry Chute Door | Wood      | FAIR             | White         |      | 5.95        | Positive | 1.4 +/- 0.4                      |  |
| 417              | Second | A                             | Bedroom 18 | Wall               | Plaster   | POOR             | White         |      | 7.01        | Negative | 0.25 +/- 0.42                    |  |
| 418              | Second | B                             | Bedroom 18 | Wall               | Plaster   | POOR             | White         |      | 5.86        | Negative | 0.03 +/- 0.06                    |  |
| 419              | Second | A                             | Bedroom 18 | Wall               | Wood      | POOR             | Clear / Stain |      | 4.73        | Negative | 0.02 +/- 0.09                    |  |
| 420              | Second | B                             | Bedroom 18 | Wall               | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0 +/- 0.02                       |  |
| 421              | Second | C                             | Bedroom 18 | Wall               | Wood      | POOR             | Clear / Stain |      | 1.1         | Negative | 0 +/- 0.03                       |  |
| 422              | Second | D                             | Bedroom 18 | Wall               | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0 +/- 0.02                       |  |
| 423              | Second | D                             | Bedroom 18 | Wall               | Plaster   | POOR             | White         |      | 10          | Negative | 0.19 +/- 0.71                    |  |
| 424              | Second | Ceiling                       | Bedroom 18 | Ceiling            | Plaster   | POOR             | White         |      | 9.56        | Negative | 0.4 +/- 0.6                      |  |
| 425              | Second | Ceiling                       | Bedroom 18 | Ceiling            | Plaster   | POOR             | White         |      | 4.63        | Negative | 0.17 +/- 0.72                    |  |
| 426              | Second | D                             | Bedroom 18 | Beam               | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0 +/- 0.02                       |  |
| 427              | Second | B                             | Bedroom 18 | Cabinet Out        | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0 +/- 0.03                       |  |
| 428              | Second | B                             | Bedroom 18 | Cabinet Door       | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0 +/- 0.02                       |  |
| 429              | Second | C                             | Bedroom 18 | Win. Casing        | Wood      | POOR             | Clear / Stain |      | 2.23        | Negative | 0.04 +/- 0.15                    |  |
| 430              | Second | C                             | Bedroom 18 | Win. Sill/Stool    | Wood      | POOR             | Black         |      | 1           | Negative | 0.01 +/- 0.05                    |  |
| 431              | Second | C                             | Bedroom 18 | Cabinet Out        | Wood      | POOR             | Black         |      | 1.22        | Negative | 0.01 +/- 0.06                    |  |
| 432              | Second | C                             | Bedroom 18 | Door Casing        | Wood      | POOR             | Black         |      | 10          | Positive | 14.3 +/- 10.5                    |  |
| 433              | Second | B                             | Bedroom 18 | Win. Apron         | Wood      | POOR             | White         |      | 10          | Positive | 14.7 +/- 11.5                    |  |
| 434              | Second | B                             | Bedroom 18 | Win. Sill/Stool    | Wood      | POOR             | White         |      | 10          | Positive | 17.9 +/- 12.3                    |  |
| 435              | Second | B                             | Bedroom 18 | Win. Stop          | Wood      | POOR             | White         |      | 10          | Positive | 16.4 +/- 12.3                    |  |
| 436              | Second | B                             | Bedroom 18 | Win. Sash          | Wood      | POOR             | White         |      | 10          | Positive | 9.6 +/- 4.3                      |  |
| 437              | Second | B                             | Bedroom 18 | Win. Sash, ext.    | Wood      | POOR             | White         |      | 10          | Positive | 18.7 +/- 12.6                    |  |
| 438              | Second | B                             | Bedroom 18 | Win. Well/Trough   | Wood      | POOR             | White         |      | 10          | Positive | 18.5 +/- 12.6                    |  |
| 439              | Second | B                             | Bedroom 18 | Win. Jamb          | Wood      | POOR             | White         |      | 3.06        | Positive | 25.7 +/- 15.5                    |  |
| 440              | Second | B                             | Bedroom 18 | Radiator           | Wood      | POOR             | Brown         |      | 1           | Negative | 0.08 +/- 0.13                    |  |
| 441              | Second | A                             | Bedroom 18 | Clos. Casing       | Wood      | POOR             | White         |      | 10          | Positive | 10.6 +/- 8.8                     |  |
| 442              | Second | A                             | Bedroom 18 | Clos. Jamb         | Wood      | POOR             | White         |      | 10          | Positive | 9.6 +/- 4.2                      |  |
| 443              | Second | A                             | Bedroom 18 | Clos. Stop         | Wood      | POOR             | White         |      | 8.03        | Positive | 8.9 +/- 4.1                      |  |
| 444              | Second | A                             | Bedroom 18 | Clos. Door         | Wood      | POOR             | White         |      | 10          | Positive | 11.3 +/- 9                       |  |
| 445              | Second | A                             | Bedroom 18 | Clos. Baseboard    | Wood      | POOR             | White         |      | 10          | Positive | 11.1 +/- 4.7                     |  |
| 446              | Second | A                             | Bedroom 18 | Clos. Casing in.   | Wood      | POOR             | White         |      | 3.47        | Positive | 3.1 +/- 1.8                      |  |
| 447              | Second | A                             | Bedroom 18 | Clothes Rod        | Wood      | POOR             | White         |      | 1.99        | Negative | 0.02 +/- 0.1                     |  |
| 448              | Second | A                             | Bedroom 18 | Clos. Shelf        | Wood      | POOR             | White         |      | 2.57        | Positive | 1.8 +/- 0.7                      |  |
| 449              | Second | A                             | Bedroom 18 | Shelf Bracket      | Wood      | FAIR             | White         |      | 10          | Positive | 10.9 +/- 9.4                     |  |
| 450              | Second | A                             | Bedroom 18 | Clos. Wall         | Plaster   | FAIR             | White         |      | 1.83        | Negative | 0.09 +/- 0.09                    |  |
| 451              | Second | A                             | Bedroom 18 | Clos. Ceiling      | Plaster   | FAIR             | White         |      | 1.64        | Negative | 0.07 +/- 0.04                    |  |
| 452              | Second | B                             | Bedroom 18 | Door Casing        | Wood      | FAIR             | White         |      | 1           | Negative | 0 +/- 0.02                       |  |
| 453              | Second | B                             | Bedroom 18 | Door Jamb          | Wood      | FAIR             | White         |      | 10          | Positive | 9.8 +/- 4.4                      |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX A

#### All Paint Samples Taken - In Order Sampled

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |          | Genesee County Land Bank      |                   |                  |           |                  |               |      |             |          |                                  |  |
|------------------|----------|-------------------------------|-------------------|------------------|-----------|------------------|---------------|------|-------------|----------|----------------------------------|--|
| Survey Location: |          | 924 Eddy St., Flint, MI 48503 |                   |                  |           |                  |               |      |             |          |                                  |  |
| Survey Date:     |          | 65-27-2011                    |                   |                  |           |                  |               |      |             |          |                                  |  |
| Inspectors:      |          | Michael Gravlin               |                   |                  | License # | P-00313          |               |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor    | Wall / Side                   | Room and #        | Component        | Substrate | Visual Condition | Color         | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 454              | Second   | B                             | Bedroom 18        | Door Stop        | Wood      | FAIR             | White         |      | 9.97        | Positive | 10.3 +/- 8.7                     |  |
| 455              | Second   | B                             | Bedroom 18        | Door             | Wood      | FAIR             | White         |      | 10          | Positive | 16 +/- 11.6                      |  |
| 456              | Second   | Floor                         | Bedroom 18        | Floor            | Wood      | POOR             | Red           |      | 1           | Negative | 0.01 +/- 0.04                    |  |
| 457              | Second   | Floor                         | Bedroom 18        | Floor            | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0.01 +/- 0.04                    |  |
| 458              | Second   | Floor                         | Upper Sun Room 19 | Floor            | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0.04 +/- 0.08                    |  |
| 459              | Second   | A                             | Upper Sun Room 19 | Wall             | Wood      | FAIR             | Clear / Stain |      | 1.27        | Negative | 0.04 +/- 0.11                    |  |
| 460              | Second   | B                             | Upper Sun Room 19 | Wall             | Wood      | FAIR             | Clear / Stain |      | 1.69        | Negative | 0.05 +/- 0.14                    |  |
| 461              | Second   | C                             | Upper Sun Room 19 | Wall             | Wood      | FAIR             | Clear / Stain |      | 1           | Negative | 0 +/- 0.03                       |  |
| 462              | Second   | D                             | Upper Sun Room 19 | Wall             | Wood      | FAIR             | Clear / Stain |      | 1           | Negative | 0.01 +/- 0.06                    |  |
| 463              | Second   | Ceiling                       | Upper Sun Room 19 | Ceiling          | Wood      | FAIR             | Clear / Stain |      | 1           | Negative | 0.02 +/- 0.06                    |  |
| 464              | Second   | D                             | Upper Sun Room 19 | Radiator         | Wood      | FAIR             | Silver        |      | 1           | Negative | 0.01 +/- 0.04                    |  |
| 465              | Second   | C                             | Upper Sun Room 19 | Baseboard        | Wood      | FAIR             | Clear / Stain |      | 1           | Negative | 0.01 +/- 0.05                    |  |
| 466              | Second   | C                             | Upper Sun Room 19 | Win. Casing      | Wood      | FAIR             | Clear / Stain |      | 1           | Negative | 0.02 +/- 0.06                    |  |
| 467              | Second   | C                             | Upper Sun Room 19 | Win. Sill/Stool  | Wood      | FAIR             | Clear / Stain |      | 2.19        | Negative | 0.07 +/- 0.2                     |  |
| 468              | Second   | C                             | Upper Sun Room 19 | Win. Stop        | Wood      | FAIR             | Clear / Stain |      | 1           | Negative | 0.02 +/- 0.06                    |  |
| 469              | Second   | C                             | Upper Sun Room 19 | Win. Sash        | Wood      | POOR             | Clear / Stain |      | 2.28        | Negative | 0.06 +/- 0.17                    |  |
| 470              | Second   | C                             | Upper Sun Room 19 | Win. Sash, ext.  | Wood      | POOR             | White         |      | 7.71        | Positive | 4.5 +/- 3.2                      |  |
| 471              | Second   | C                             | Upper Sun Room 19 | Win. Well/Trough | Wood      | POOR             | White         |      | 10          | Positive | 16.8 +/- 11.9                    |  |
| 472              | Second   | C                             | Upper Sun Room 19 | Win. Jamb        | Wood      | POOR             | White         |      | 10          | Positive | 17.7 +/- 12.9                    |  |
| 473              | Second   | A                             | Upper Sun Room 19 | Door Casing      | Wood      | POOR             | Black         |      | 1           | Negative | 0.02 +/- 0.07                    |  |
| 474              | Second   | A                             | Upper Sun Room 19 | Door Jamb        | Wood      | POOR             | Black         |      | 9.49        | Positive | 13.7 +/- 10.5                    |  |
| 475              | Second   | A                             | Upper Sun Room 19 | Door Stop        | Wood      | POOR             | Black         |      | 9.58        | Positive | 12.8 +/- 9.8                     |  |
| 476              | Second   | A                             | Upper Sun Room 19 | Door             | Wood      | POOR             | Brown         |      | 6.79        | Positive | 11.8 +/- 9.7                     |  |
| 477              | Second   | A                             | Upper Sun Room 19 | Door             | Wood      | POOR             | Clear / Stain |      | 2.53        | Negative | 0.07 +/- 0.21                    |  |
| 478              | Second   | B                             | Upper Sun Room 19 | Door Casing      | Wood      | POOR             | Brown         |      | 1           | Negative | 0 +/- 0.02                       |  |
| 479              | Second   | B                             | Upper Sun Room 19 | Door Jamb        | Wood      | POOR             | White         |      | 1           | Negative | 0 +/- 0.03                       |  |
| 480              | Exterior | C                             | Ext. House 28     | Win. Casing      | Wood      | POOR             | White         |      | 3.28        | Positive | 18.3 +/- 12.8                    |  |
| 481              | Exterior | C                             | Ext. House 28     | Win. Sill/Stool  | Wood      | POOR             | White         |      | 3.54        | Positive | 19.1 +/- 12.6                    |  |
| 482              | Exterior | C                             | Ext. House 28     | Door Casing      | Wood      | POOR             | White         |      | 3.74        | Positive | 15.7 +/- 11                      |  |
| 483              | Exterior | C                             | Ext. House 28     | Ext. Soffit      | Wood      | POOR             | Red           |      | 3.09        | Positive | 20.4 +/- 13.5                    |  |
| 484              | Exterior | C                             | Ext. House 28     | Joist            | Wood      | POOR             | Red           |      | 4.12        | Positive | 18.3 +/- 12.5                    |  |
| 485              | Exterior | C                             | Ext. House 28     | Crown Molding    | Wood      | POOR             | Red           |      | 2.88        | Positive | 17.1 +/- 11.9                    |  |
| 486              | Exterior | C                             | Ext. House 28     | Ext. Fascia      | Wood      | POOR             | Red           |      | 3.02        | Positive | 17.8 +/- 11.9                    |  |
| 487              | Exterior | C                             | Ext. House 28     | Wall, Upper      | Wood      | POOR             | Red           |      | 1.86        | Positive | 1.9 +/- 0.6                      |  |
| 488              | Second   | C                             | Rear Stairway 21  | Win. Sash, ext.  | Wood      | POOR             | White         |      | 2.66        | Positive | 15.8 +/- 11.5                    |  |
| 489              | Second   | C                             | Rear Stairway 21  | Win. Well/Trough | Wood      | POOR             | White         |      | 2.61        | Positive | 18 +/- 12.3                      |  |
| 490              | Second   | C                             | Rear Stairway 21  | Win. Jamb        | Wood      | POOR             | White         |      | 3.44        | Positive | 22.3 +/- 13.9                    |  |
| 491              | Exterior | C                             | Ext. House 28     | Wall, Upper      | Wood      | POOR             | Red           |      | 3.3         | Positive | 3.8 +/- 2.4                      |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX A

#### All Paint Samples Taken - In Order Sampled

*Please note: Post 1978 Construction, factory finished and unpainted items were not sampled*

| Client           |          | Genesee County Land Bank      |                  |               |           |                  |               |      |             |          |                                  |  |
|------------------|----------|-------------------------------|------------------|---------------|-----------|------------------|---------------|------|-------------|----------|----------------------------------|--|
| Survey Location: |          | 924 Eddy St., Flint, MI 48503 |                  |               |           |                  |               |      |             |          |                                  |  |
| Survey Date:     |          | 65-27-2011                    |                  |               |           |                  |               |      |             |          |                                  |  |
| Inspectors:      |          | Michael Gravin                |                  |               | License # | P-00313          |               |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor    | Wall / Side                   | Room and #       | Component     | Substrate | Visual Condition | Color         | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 492              | Exterior | A                             | Ext. House 28    | Wall, Upper   | Wood      | POOR             | Red           |      | 2.41        | Positive | 2.9 +/- 1.6                      |  |
| 493              | Exterior | B                             | Ext. House 28    | Wall, Upper   | Wood      | POOR             | Red           |      | 1.96        | Positive | 2.5 +/- 0.8                      |  |
| 494              | Second   | A                             | Bathroom 20      | Wall          | Plaster   | POOR             | White         |      | 1.3         | Negative | 0.02 +/- 0.02                    |  |
| 495              | Second   | B                             | Bathroom 20      | Wall          | Plaster   | POOR             | White         |      | 9.3         | Positive | 28.8 +/- 17                      |  |
| 496              | Second   | C                             | Bathroom 20      | Wall          | Plaster   | POOR             | Paper         |      | 1           | Negative | 0 +/- 0.02                       |  |
| 497              | Second   | D                             | Bathroom 20      | Wall          | Plaster   | POOR             | Paper         |      | 1           | Negative | 0 +/- 0.02                       |  |
| 498              | Second   | D                             | Bathroom 20      | Wall          | Plaster   | POOR             | Pink          |      | 6.61        | Positive | 32 +/- 17.5                      |  |
| 499              | Second   | Ceiling                       | Bathroom 20      | Ceiling       | Plaster   | POOR             | White         |      | 2.37        | Negative | 0.14 +/- 0.12                    |  |
| 500              | Second   | D                             | Bathroom 20      | Crown Molding | Plaster   | POOR             | Pink          |      | 10          | Positive | 2.8 +/- 1.5                      |  |
| 501              | Second   | D                             | Bathroom 20      | Baseboard     | Plaster   | POOR             | Pink          |      | 1           | Negative | 0 +/- 0.02                       |  |
| 502              | Second   | D                             | Bathroom 20      | Radiator      | Metal     | POOR             | Beige         |      | 3.43        | Positive | 2.6 +/- 1.2                      |  |
| 503              | Second   | A                             | Bathroom 20      | Door Casing   | Wood      | POOR             | Pink          |      | 10          | Positive | 10.7 +/- 9.2                     |  |
| 504              | Second   | A                             | Bathroom 20      | Door Jamb     | Wood      | POOR             | White         |      | 8.31        | Positive | 10.3 +/- 8.8                     |  |
| 505              | Second   | A                             | Bathroom 20      | Door Stop     | Wood      | POOR             | White         |      | 9.09        | Positive | 7.7 +/- 3.7                      |  |
| 506              | Second   | A                             | Bathroom 20      | Door Door     | Wood      | POOR             | White         |      | 10          | Positive | 16.2 +/- 11.4                    |  |
| 507              | Second   | A                             | Bathroom 20      | Door          | Wood      | POOR             | Pink          |      | 10          | Positive | 16.6 +/- 11.6                    |  |
| 508              | Second   | C                             | Bathroom 20      | Cabinet Out   | Wood      | POOR             | Pink          |      | 1           | Negative | 0 +/- 0.02                       |  |
| 509              | Second   | C                             | Bathroom 20      | Cabinet Door  | Wood      | POOR             | Pink          |      | 1           | Negative | 0 +/- 0.03                       |  |
| 510              | Second   | C                             | Bathroom 20      | Cabinet Door  | Wood      | POOR             | Beige         |      | 1           | Negative | 0 +/- 0.02                       |  |
| 511              | Second   | C                             | Bathroom 20      | Cabinet Shelf | Wood      | POOR             | Beige         |      | 1           | Negative | 0.01 +/- 0.04                    |  |
| 512              | Second   | C                             | Bathroom 20      | Cabinet In    | Plaster   | POOR             | Beige         |      | 5.87        | Positive | 29.3 +/- 17.7                    |  |
| 513              | Second   | C                             | Bathroom 20      | Win. Casing   | Wood      | FAIR             | Pink          |      | 1           | Negative | 0 +/- 0.02                       |  |
| 514              | Second   | Floor                         | Bathroom 20      | Floor         | Wood      | POOR             | Clear / Stain |      | 1           | Negative | 0.08 +/- 0.13                    |  |
| 515              | Second   | A                             | Rear Stairway 21 | Wall          | Plaster   | POOR             | White         |      | 6.63        | Positive | 4.1 +/- 2.4                      |  |
| 516              | Second   | B                             | Rear Stairway 21 | Wall          | Plaster   | POOR             | White         |      | 10          | Positive | 4.1 +/- 3                        |  |
| 517              | Second   | C                             | Rear Stairway 21 | Wall          | Plaster   | POOR             | White         |      | 10          | Positive | 4.9 +/- 3.3                      |  |
| 518              | Second   | D                             | Rear Stairway 21 | Wall          | Plaster   | POOR             | White         |      | 9.67        | Positive | 3.6 +/- 2.4                      |  |
| 519              | Second   | Ceiling                       | Rear Stairway 21 | Ceiling       | Plaster   | POOR             | White         |      | 10          | Positive | 3.3 +/- 2                        |  |
| 520              | Second   | D                             | Rear Stairway 21 | Door Casing   | Wood      | POOR             | White         |      | 7.13        | Positive | 12.6 +/- 10                      |  |
| 521              | Second   | D                             | Rear Stairway 21 | Door Jamb     | Wood      | POOR             | White         |      | 10          | Positive | 10.4 +/- 8.7                     |  |
| 522              | Second   | A                             | Rear Stairway 21 | Baseboard     | Wood      | POOR             | White         |      | 10          | Positive | 12 +/- 9.5                       |  |
| 523              | Second   | A                             | Rear Stairway 21 | Railing Cap   | Wood      | POOR             | Brown         |      | 8.13        | Positive | 12.4 +/- 10                      |  |
| 524              | Second   | A                             | Rear Stairway 21 | Newel Post    | Wood      | POOR             | Brown         |      | 4.93        | Positive | 14.3 +/- 10.8                    |  |
| 525              | Second   | Center                        | Rear Stairway 21 | Baluster      | Wood      | POOR             | White         |      | 8.89        | Positive | 12.2 +/- 10.2                    |  |
| 526              | Second   | Center                        | Rear Stairway 21 | Lower Rail    | Wood      | POOR             | White         |      | 5.01        | Positive | 16.9 +/- 11.9                    |  |
| 527              | Second   | C                             | Rear Stairway 21 | Pipe          | Metal     | POOR             | White         |      | 2.34        | Negative | 0.26 +/- 0.23                    |  |
| 528              | Second   | C                             | Rear Stairway 21 | Water tank    | Metal     | POOR             | White         |      | 2.69        | Negative | 0.23 +/- 0.4                     |  |

**ETC - Environmental Services WILCO Environmental**

**APPENDIX A**

**All Paint Samples Taken - In Order Sampled**

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |        | Genesee County Land Bank      |                   |                 |           |                  |       |      |             |          |                                  |  |
|------------------|--------|-------------------------------|-------------------|-----------------|-----------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |                   |                 |           |                  |       |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |                   |                 |           |                  |       |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravin                |                   |                 | License # | P-00313          |       |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and #        | Component       | Substrate | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 529              | Second | C                             | Rear Stairway 21  | Shelf           | Wood      | POOR             | White |      | 2.16        | Negative | 0.2 +/- 0.33                     |  |
| 530              | Second | C                             | Rear Stairway 21  | Shelf Bracket   | Metal     | POOR             | White |      | 2.35        | Negative | 0.17 +/- 0.32                    |  |
| 531              | Second | C                             | Rear Stairway 21  | Win. Apron      | Wood      | POOR             | White |      | 5.89        | Positive | 15.6 +/- 11                      |  |
| 532              | Second | C                             | Rear Stairway 21  | Win. Sill/Stool | Wood      | POOR             | White |      | 7.03        | Positive | 13.5 +/- 10.3                    |  |
| 533              | Second | C                             | Rear Stairway 21  | Win. Casing     | Wood      | POOR             | White |      | 6.42        | Positive | 14.5 +/- 10.8                    |  |
| 534              | Second | C                             | Rear Stairway 21  | Win. Sash       | Wood      | POOR             | White |      | 8.47        | Positive | 11.8 +/- 9.8                     |  |
| 535              | Second | Floor                         | Rear Stairway 21  | Stair Tread     | Wood      | POOR             | Grey  |      | 1.43        | Positive | 6.9 +/- 4                        |  |
| 536              | Second | Floor                         | Rear Stairway 21  | Stair Riser     | Wood      | POOR             | Grey  |      | 1.37        | Positive | 10 +/- 8.4                       |  |
| 537              | Second | C                             | Rear Stairway 21  | Stair Stringer  | Wood      | POOR             | Grey  |      | 1.78        | Positive | 5.3 +/- 3.4                      |  |
| 538              | Second | D                             | Rear Stairway 21  | Wall Casing     | Wood      | POOR             | White |      | 2.68        | Positive | 6 +/- 3.6                        |  |
| 539              | First  | D                             | Rear Stairway 21  | Wall            | Plaster   | POOR             | White |      | 10          | Positive | 4.3 +/- 3                        |  |
| 540              | First  | B                             | Rear Stairway 21  | Railing         | Wood      | POOR             | Brown |      | 1           | Negative | 0.03 +/- 0.08                    |  |
| 541              | First  | A                             | Rear Stairway 21  | Door Casing     | Wood      | POOR             | White |      | 2.73        | Positive | 1.5 +/- 0.5                      |  |
| 542              | First  | A                             | Rear Stairway 21  | Door Casing     | Wood      | POOR             | White |      | 5.35        | Positive | 1.7 +/- 0.6                      |  |
| 543              | First  | A                             | Rear Stairway 21  | Door Stop       | Wood      | POOR             | White |      | 2.33        | Positive | 1.8 +/- 0.7                      |  |
| 544              | First  | A                             | Rear Stairway 21  | Cabinet Out     | Wood      | POOR             | White |      | 6.65        | Positive | 2.4 +/- 1.3                      |  |
| 545              | First  | A                             | Rear Stairway 21  | Cabinet Door    | Wood      | POOR             | White |      | 6.98        | Positive | 1.9 +/- 0.7                      |  |
| 546              | First  | A                             | Rear Stairway 21  | Cabinet Shelf   | Wood      | FAIR             | White |      | 3.76        | Positive | 2.8 +/- 1.8                      |  |
| 547              | First  | A                             | Rear Stairway 21  | Cabinet In      | Wood      | FAIR             | White |      | 3.68        | Positive | 1.9 +/- 0.7                      |  |
| 548              | First  | A                             | Rear Stairway 21  | Wall            | Plaster   | POOR             | Paper |      | 1.49        | Negative | 0.24 +/- 0.07                    |  |
| 549              | First  | B                             | Rear Stairway 21  | Wall            | Plaster   | POOR             | Paper |      | 1.45        | Negative | 0.4 +/- 0.1                      |  |
| 550              | First  | C                             | Rear Stairway 21  | Wall            | Plaster   | POOR             | Paper |      | 1.74        | Negative | 0.28 +/- 0.09                    |  |
| 551              | First  | D                             | Rear Stairway 21  | Wall            | Plaster   | POOR             | Paper |      | 1.65        | Negative | 0.22 +/- 0.06                    |  |
| 552              | First  | Ceiling                       | Rear Stairway 21  | Ceiling         | Plaster   | POOR             | White |      | 7.58        | Positive | 3.4 +/- 2.1                      |  |
| 553              | First  | B                             | Rear Stairway 21  | Door Casing     | Wood      | POOR             | White |      | 3.84        | Negative | 0.3 +/- 0.09                     |  |
| 554              | First  | B                             | Rear Stairway 21  | Door Jamb       | Wood      | POOR             | White |      | 3.69        | Negative | 0.3 +/- 0.11                     |  |
| 555              | First  | B                             | Rear Stairway 21  | Door Stop       | Wood      | POOR             | White |      | 3.26        | Negative | 0.24 +/- 0.11                    |  |
| 556              | First  | A                             | Basement Stair 22 | Wall            | Plaster   | POOR             | Blue  |      | 8.66        | Positive | 17.3 +/- 12.6                    |  |
| 557              | First  | B                             | Basement Stair 22 | Wall            | Plaster   | POOR             | Blue  |      | 10          | Positive | 18.7 +/- 13.1                    |  |
| 558              | First  | C                             | Basement Stair 22 | Wall            | Plaster   | POOR             | Blue  |      | 10          | Positive | 16.9 +/- 12                      |  |
| 559              | First  | C                             | Basement Stair 22 | Wall            | Plaster   | POOR             | Blue  |      | 10          | Positive | 18.2 +/- 13                      |  |
| 560              | First  | Ceiling                       | Basement Stair 22 | Ceiling         | Plaster   | POOR             | Blue  |      | 10          | Positive | 19.4 +/- 13.8                    |  |
| 561              | First  | Ceiling                       | Basement Stair 22 | Pipe            | Metal     | POOR             | Blue  |      | 3.12        | Negative | 0.17 +/- 0.27                    |  |
| 562              | First  | A                             | Basement Stair 22 | Ledge           | Wood      | POOR             | Blue  |      | 3.48        | Positive | 11.1 +/- 9.5                     |  |
| 563              | First  | A                             | Basement Stair 22 | Wall, Lower     | Plaster   | POOR             | Blue  |      | 7.58        | Positive | 19.2 +/- 13.4                    |  |
| 564              | First  | B                             | Basement Stair 22 | Wall, Lower     | Plaster   | POOR             | Blue  |      | 10          | Positive | 15.9 +/- 12.6                    |  |
| 565              | First  | C                             | Basement Stair 22 | Wainscoting     | Wood      | POOR             | Blue  |      | 5.45        | Positive | 4.6 +/- 2.9                      |  |

**ETC - Environmental Services WILCO Environmental**

**APPENDIX A**

**All Paint Samples Taken - In Order Sampled**

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |       | Genesee County Land Bank      |                   |                 |           |                  |       |      |             |          |                                  |  |
|------------------|-------|-------------------------------|-------------------|-----------------|-----------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |       | 924 Eddy St., Flint, MI 48503 |                   |                 |           |                  |       |      |             |          |                                  |  |
| Survey Date:     |       | 65-27-2011                    |                   |                 |           |                  |       |      |             |          |                                  |  |
| Inspectors:      |       | Michael Gravin                |                   |                 | License # | P-00313          |       |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor | Wall / Side                   | Room and #        | Component       | Substrate | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 566              | First | C                             | Basement Stair 22 | Railing         | Wood      | POOR             | Blue  |      | 1           | Negative | 0 +/- 0.03                       |  |
| 567              | First | C                             | Basement Stair 22 | Corner Trim     | Wood      | POOR             | Blue  |      | 10          | Positive | 10.7 +/- 8.8                     |  |
| 568              | First | C                             | Basement Stair 22 | Door Casing     | Wood      | POOR             | Blue  |      | 10          | Positive | 9.8 +/- 8.7                      |  |
| 569              | First | C                             | Basement Stair 22 | Entry door      | Wood      | POOR             | Blue  |      | 6.33        | Positive | 11.1 +/- 8.8                     |  |
| 570              | First | C                             | Basement Stair 22 | Entry door      | Wood      | POOR             | Grey  |      | 2.47        | Positive | 28.2 +/- 17                      |  |
| 571              | First | C                             | Basement Stair 22 | Door Jamb       | Wood      | POOR             | Grey  |      | 3.23        | Positive | 26.9 +/- 16.2                    |  |
| 572              | First | C                             | Basement Stair 22 | Door Storm      | Wood      | POOR             | Grey  |      | 1.88        | Positive | 3.6 +/- 2.5                      |  |
| 573              | First | C                             | Basement Stair 22 | Door Threshold  | Wood      | POOR             | Grey  |      | 3.37        | Positive | 5.2 +/- 3.1                      |  |
| 574              | First | B                             | Basement Stair 22 | Win. Apron      | Wood      | POOR             | White |      | 10          | Positive | 15.1 +/- 11.3                    |  |
| 575              | First | B                             | Basement Stair 22 | Win. Sill/Stool | Wood      | POOR             | White |      | 8.43        | Positive | 10.7 +/- 9.1                     |  |
| 576              | First | B                             | Basement Stair 22 | Win. Casing     | Wood      | POOR             | White |      | 2.79        | Positive | 12.6 +/- 10.2                    |  |
| 577              | First | B                             | Basement Stair 22 | Win. Sash       | Wood      | POOR             | White |      | 4.27        | Positive | 14.4 +/- 10.8                    |  |
| 578              | First | B                             | Basement Stair 22 | Win. Stop       | Wood      | POOR             | White |      | 10          | Positive | 11.4 +/- 9.5                     |  |
| 579              | First | A                             | Basement Stair 22 | Shelf           | Wood      | POOR             | Blue  |      | 10          | Positive | 10.6 +/- 9.1                     |  |
| 580              | First | D                             | Basement Stair 22 | Header          | Wood      | FAIR             | Blue  |      | 8.08        | Positive | 6.4 +/- 3.2                      |  |
| 581              | First | D                             | Basement Stair 22 | Stair Riser     | Wood      | POOR             | Blue  |      | 10          | Positive | 4.8 +/- 2.9                      |  |
| 582              | First | A                             | Basement 23       | Wall            | Concrete  | POOR             | White |      | 4.71        | Positive | 14.8 +/- 12.6                    |  |
| 583              | First | A                             | Basement 23       | Wall            | Wood      | POOR             | White |      | 4.43        | Positive | 4.4 +/- 3.3                      |  |
| 584              | First | B                             | Basement 23       | Wall            | Concrete  | POOR             | White |      | 5.33        | Positive | 14.4 +/- 12                      |  |
| 585              | First | C                             | Basement 23       | Wall            | Concrete  | POOR             | White |      | 5.15        | Positive | 15.4 +/- 12.3                    |  |
| 586              | First | D                             | Basement 23       | Wall            | Wood      | POOR             | White |      | 5.63        | Positive | 5.9 +/- 3.2                      |  |
| 587              | First | Ceiling                       | Basement 23       | Ceiling         | Wood      | POOR             | White |      | 8.23        | Positive | 3.3 +/- 2                        |  |
| 588              | First | Ceiling                       | Basement 23       | Beam            | Wood      | POOR             | White |      | 5.49        | Positive | 3.8 +/- 2.6                      |  |
| 589              | First | Ceiling                       | Basement 23       | Beam            | Metal     | POOR             | White |      | 4.32        | Positive | 3.4 +/- 1.6                      |  |
| 590              | First | Ceiling                       | Basement 23       | Pipe            | Metal     | POOR             | White |      | 4.06        | Positive | 3 +/- 1.2                        |  |
| 591              | First | Center                        | Basement 23       | Support Pole    | Metal     | POOR             | White |      | 2.85        | Positive | 6.3 +/- 4.9                      |  |
| 592              | First | D                             | Basement 23       | Chimney         | Brick     | POOR             | White |      | 7.67        | Positive | 13.2 +/- 11.3                    |  |
| 593              | First | D                             | Basement 23       | Clos. Wall      | Wood      | POOR             | White |      | 5.89        | Positive | 13.4 +/- 10.1                    |  |
| 594              | First | D                             | Basement 23       | Clos. Wall      | Wood      | POOR             | White |      | 3.42        | Positive | 19.1 +/- 12.7                    |  |
| 595              | First | D                             | Basement 23       | Clos. Door      | Wood      | POOR             | White |      | 8.85        | Positive | 18.7 +/- 13.1                    |  |
| 596              | First | B                             | Basement 23       | Pipe/DWV        | Metal     | POOR             | White |      | 5.8         | Positive | 14.6 +/- 11.4                    |  |
| 597              | First | A                             | Basement 23       | Cabinet Out     | Wood      | POOR             | White |      | 1.76        | Negative | 0.19 +/- 0.28                    |  |
| 598              | First | A                             | Basement 23       | Cabinet Door    | Wood      | POOR             | White |      | 2.67        | Negative | 0.5 +/- 0.4                      |  |
| 599              | First | A                             | Basement 23       | Cabinet In      | Wood      | POOR             | White |      | 3.44        | Negative | 0.17 +/- 0.21                    |  |
| 600              | First | C                             | Basement 23       | Door Jamb       | Wood      | POOR             | Blue  |      | 4.71        | Positive | 6.8 +/- 3.4                      |  |
| 601              | First | C                             | Basement 23       | Door Jamb       | Wood      | POOR             | Blue  |      | 4.94        | Positive | 7.1 +/- 3.5                      |  |
| 602              | First | A                             | Basement Entry 24 | Wall            | Concrete  | POOR             | White |      | 3.11        | Negative | 0.01 +/- 0.02                    |  |

**ETC - Environmental Services WILCO Environmental**

**APPENDIX A**

**All Paint Samples Taken - In Order Sampled**

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |       | Genesee County Land Bank      |                   |                 |           |                  |       |      |             |          |                                  |  |
|------------------|-------|-------------------------------|-------------------|-----------------|-----------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |       | 924 Eddy St., Flint, MI 48503 |                   |                 |           |                  |       |      |             |          |                                  |  |
| Survey Date:     |       | 65-27-2011                    |                   |                 |           |                  |       |      |             |          |                                  |  |
| Inspectors:      |       | Michael Gravin                |                   |                 | License # | P-00313          |       |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor | Wall / Side                   | Room and #        | Component       | Substrate | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 603              | First | B                             | Basement Entry 24 | Wall            | Concrete  | POOR             | White |      | 1.29        | Positive | 4.5 +/- 3.2                      |  |
| 604              | First | C                             | Basement Entry 24 | Wall            | Concrete  | POOR             | White |      | 2.58        | Negative | 0.01 +/- 0.02                    |  |
| 605              | First | D                             | Basement Entry 24 | Wall            | Concrete  | POOR             | White |      | 1.88        | Negative | 0.01 +/- 0.02                    |  |
| 606              | First | C                             | Basement Entry 24 | Entry door      | Wood      | POOR             | Blue  |      | 4.2         | Negative | 0.7 +/- 0.2                      |  |
| 607              | First | C                             | Basement Entry 24 | Entry door      | Wood      | POOR             | Blue  |      | 2.07        | Positive | 12.1 +/- 9.3                     |  |
| 608              | First | C                             | Basement Entry 24 | Door Jamb       | Wood      | POOR             | Blue  |      | 1.94        | Positive | 11.7 +/- 9.3                     |  |
| 609              | First | C                             | Basement Entry 24 | Door Jamb       | Wood      | POOR             | Blue  |      | 1.73        | Positive | 10.3 +/- 8.5                     |  |
| 610              | First | A                             | Basement 25       | Wall            | Concrete  | POOR             | White |      | 2.32        | Positive | 16.1 +/- 12.3                    |  |
| 611              | First | B                             | Basement 25       | Wall            | Concrete  | POOR             | White |      | 4.71        | Positive | 15.5 +/- 12.6                    |  |
| 612              | First | C                             | Basement 25       | Wall            | Wood      | POOR             | White |      | 2.71        | Positive | 5.5 +/- 4.5                      |  |
| 613              | First | C                             | Basement 25       | Ceiling         | Wood      | POOR             | White |      | 2.23        | Positive | 5 +/- 3.6                        |  |
| 614              | First | A                             | Basement 25       | Cabinet Out     | Wood      | POOR             | White |      | 1.87        | Positive | 1.9 +/- 0.8                      |  |
| 615              | First | A                             | Basement 25       | Cabinet Door    | Wood      | POOR             | White |      | 1.6         | Positive | 2.1 +/- 0.8                      |  |
| 616              | First | A                             | Basement 25       | Drawer          | Wood      | POOR             | White |      | 1.5         | Positive | 1.7 +/- 0.7                      |  |
| 617              | First | A                             | Basement 25       | Cabinet Shelf   | Wood      | POOR             | White |      | 1.5         | Positive | 5 +/- 3.1                        |  |
| 618              | First | A                             | Basement 25       | Cabinet In      | Wood      | POOR             | White |      | 1.93        | Positive | 7.6 +/- 5.1                      |  |
| 619              | First | C                             | Basement 25       | Door            | Wood      | POOR             | White |      | 1.93        | Positive | 11.5 +/- 9.6                     |  |
| 620              | First | D                             | Basement 25       | Door            | Wood      | POOR             | White |      | 1.57        | Positive | 11.7 +/- 9.4                     |  |
| 621              | First | A                             | Basement 26       | Wall            | Wood      | POOR             | White |      | 4.26        | Positive | 12.4 +/- 10.1                    |  |
| 622              | First | B                             | Basement 26       | Wall            | Wood      | POOR             | White |      | 2.63        | Negative | 0.6 +/- 0.4                      |  |
| 623              | First | B                             | Basement 26       | Wall            | Wood      | POOR             | White |      | 3.87        | Positive | 10.7 +/- 8.9                     |  |
| 624              | First | C                             | Basement 26       | Wall            | Concrete  | POOR             | White |      | 2.39        | Positive | 5.9 +/- 4.3                      |  |
| 625              | First | D                             | Basement 26       | Wall            | Concrete  | POOR             | White |      | 1.88        | Positive | 3.4 +/- 2.3                      |  |
| 626              | First | D                             | Basement 26       | Ceiling         | Wood      | POOR             | White |      | 3.37        | Positive | 6.4 +/- 3.4                      |  |
| 627              | First | D                             | Basement 26       | Win. Sash       | Wood      | POOR             | White |      | 2.1         | Positive | 3.5 +/- 1.8                      |  |
| 628              | First | D                             | Basement 26       | Win. Jamb       | Wood      | POOR             | White |      | 2.88        | Positive | 4.4 +/- 2.7                      |  |
| 629              | First | D                             | Basement 26       | Cabinet Out     | Wood      | POOR             | White |      | 2.19        | Negative | 0.5 +/- 0.3                      |  |
| 630              | First | D                             | Basement 26       | Cabinet Out     | Wood      | POOR             | White |      | 2.05        | Negative | 0.4 +/- 0.5                      |  |
| 631              | First | D                             | Basement 26       | Cabinet Out     | Wood      | POOR             | White |      | 3.46        | Positive | 5.7 +/- 3.2                      |  |
| 632              | First | D                             | Basement 26       | Cabinet Door    | Wood      | POOR             | White |      | 2.67        | Positive | 4.4 +/- 2.5                      |  |
| 633              | First | D                             | Basement 26       | Cabinet Shelves | Wood      | POOR             | White |      | 3.11        | Positive | 5.3 +/- 3.2                      |  |
| 634              | First | D                             | Basement 26       | Cabinet In      | Wood      | POOR             | White |      | 2.79        | Positive | 6.1 +/- 5.1                      |  |
| 635              | First | D                             | Basement 26       | Beam            | Wood      | POOR             | White |      | 2.41        | Positive | 15.4 +/- 11.4                    |  |
| 636              | First | Center                        | Basement 26       | Support Pole    | Metal     | POOR             | White |      | 3.57        | Positive | 18 +/- 12.3                      |  |
| 637              | First | C                             | Basement 26       | Door            | Wood      | POOR             | White |      | 3.65        | Positive | 14.2 +/- 10.7                    |  |
| 638              | First | C                             | Basement 26       | Door Jamb       | Wood      | POOR             | White |      | 4.25        | Positive | 10.9 +/- 9.7                     |  |
| 639              | First | A                             | Basement 27       | Wall            | Concrete  | POOR             | White |      | 1           | Negative | 0 +/- 0.02                       |  |



## ETC - Environmental Services WILCO Environmental

### APPENDIX A

*All Paint Samples Taken - In Order Sampled*

*Please note: Post 1978 Construction, factory finished and unpainted items were not sampled*

| Client           |          | Genesee County Land Bank      |                   |                        |           |                  |       |      |             |          |                                  |  |
|------------------|----------|-------------------------------|-------------------|------------------------|-----------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |          | 924 Eddy St., Flint, MI 48503 |                   |                        |           |                  |       |      |             |          |                                  |  |
| Survey Date:     |          | 65-27-2011                    |                   |                        |           |                  |       |      |             |          |                                  |  |
| Inspectors:      |          | Michael Gravin                |                   |                        | License # | P-00313          |       |      | Job#        | 137076   |                                  |  |
| Sample #         | Floor    | Wall / Side                   | Room and #        | Component              | Substrate | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 640              | First    | B                             | Basement 27       | Wall                   | Concrete  | POOR             | White |      | 1           | Negative | 0 +/- 0.02                       |  |
| 641              | First    | C                             | Basement 27       | Wall                   | Concrete  | POOR             | White |      | 1           | Negative | 0 +/- 0.02                       |  |
| 642              | First    | D                             | Basement 27       | Wall                   | Concrete  | POOR             | White |      | 5.12        | Negative | 0.02 +/- 0.03                    |  |
| 643              | First    | D                             | Basement 27       | Ceiling                | Wood      | POOR             | White |      | 1.36        | Positive | 6.9 +/- 4                        |  |
| 644              | Exterior | A                             | Ext. House 28     | Wall                   | Stucco    | POOR             | White |      | 4.07        | Positive | 25.5 +/- 16.4                    |  |
| 645              | Exterior | A                             | Ext. House 28     | Porch wall, out        | Stucco    | POOR             | White |      | 2.97        | Positive | 20.2 +/- 13.3                    |  |
| 646              | Exterior | A                             | Ext. House 28     | Ext. Foundation        | Stucco    | POOR             | White |      | 3.64        | Positive | 20.9 +/- 13.4                    |  |
| 647              | Exterior | A                             | Ext. House 28     | Ext. Skirting          | Wood      | POOR             | White |      | 6.16        | Positive | 32.4 +/- 18.3                    |  |
| 648              | Exterior | A                             | Ext. House 28     | Ext. Drip Board        | Wood      | POOR             | White |      | 7.13        | Positive | 26.5 +/- 15.9                    |  |
| 649              | Exterior | A                             | Ext. House 28     | Win. Sill/Stool        | Wood      | POOR             | White |      | 6.86        | Positive | 26.2 +/- 16.4                    |  |
| 650              | Exterior | A                             | Ext. House 28     | Win. Casing            | Wood      | POOR             | White |      | 8.1         | Positive | 22.4 +/- 14.3                    |  |
| 651              | Exterior | A                             | Ext. House 28     | Door Casing            | Wood      | POOR             | White |      | 3.88        | Positive | 17.6 +/- 11.8                    |  |
| 652              | Exterior | A                             | Ext. House 28     | Porch Ceiling          | Wood      | POOR             | White |      | 6.6         | Positive | 20.1 +/- 13.3                    |  |
| 653              | Exterior | A                             | Ext. House 28     | Porch Beam             | Wood      | POOR             | White |      | 6.51        | Positive | 19.3 +/- 13                      |  |
| 654              | Exterior | A                             | Ext. House 28     | Porch Column           | Wood      | POOR             | White |      | 3.93        | Positive | 14.8 +/- 11                      |  |
| 655              | Exterior | A                             | Ext. House 28     | Ext. Frieze Board      | Wood      | POOR             | White |      | 6.71        | Positive | 19.1 +/- 13.1                    |  |
| 656              | Exterior | A                             | Ext. House 28     | Wall                   | Wood      | POOR             | Red   |      | 1.4         | Positive | 1.4 +/- 0.4                      |  |
| 657              | First    | A                             | Sun Room 4        | Win. Sash, ext.        | Wood      | POOR             | Red   |      | 2.59        | Positive | 1.9 +/- 0.7                      |  |
| 658              | Exterior | A                             | Ext. House 28     | Win. Sash, ext.bas     | Wood      | POOR             | Red   |      | 3.45        | Positive | 3.5 +/- 2.3                      |  |
| 659              | Exterior | B                             | Ext. House 28     | Wall                   | Wood      | POOR             | Red   |      | 1.54        | Positive | 1.6 +/- 0.5                      |  |
| 660              | Exterior | B                             | Ext. House 28     | Wall                   | Stucco    | POOR             | White |      | 3.64        | Positive | 19.5 +/- 13.7                    |  |
| 661              | Exterior | B                             | Basement Stair 22 | Win. Sash, ext.        | Wood      | POOR             | White |      | 4.69        | Positive | 4.3 +/- 3.2                      |  |
| 662              | Exterior | B                             | Basement Stair 22 | Win. Well/Trough       | Wood      | POOR             | White |      | 5.51        | Positive | 31.1 +/- 18.2                    |  |
| 663              | Exterior | B                             | Basement Stair 22 | Win. Jamb              | Wood      | POOR             | White |      | 4.19        | Positive | 33.8 +/- 19.6                    |  |
| 664              | Exterior | B                             | Ext. House 28     | Ext. Win. Storm/Screen | Wood      | POOR             | White |      | 5.77        | Positive | 24.9 +/- 14.9                    |  |
| 665              | Exterior | B                             | Ext. House 28     | Bas. Win. Jamb         | Wood      | POOR             | White |      | 5.15        | Positive | 24.1 +/- 14.7                    |  |
| 666              | Exterior | B                             | Ext. House 28     | Ext. Corner Board      | Wood      | POOR             | White |      | 4.05        | Positive | 34.9 +/- 19.1                    |  |
| 667              | Exterior | B                             | Ext. House 28     | Door Casing            | Wood      | POOR             | Red   |      | 2.16        | Positive | 31.5 +/- 18.6                    |  |
| 668              | Exterior | A                             | Ext. House 28     | Crawl Access casing    | Wood      | POOR             | White |      | 2.84        | Positive | 1.8 +/- 0.8                      |  |
| 669              | Exterior | A                             | Ext. House 28     | Crawl Access           | Wood      | POOR             | White |      | 7.03        | Positive | 21.7 +/- 14.6                    |  |
| 670              | Exterior | C                             | Ext. House 28     | Wall                   | Stucco    | POOR             | White |      | 2.55        | Positive | 20.9 +/- 14.3                    |  |
| 671              | Exterior | C                             | Ext. House 28     | Porch Apron            | Wood      | POOR             | Red   |      | 2.52        | Positive | 25.8 +/- 15.8                    |  |
| 672              | Exterior | C                             | Ext. House 28     | Porch Lattice/columns  | Wood      | POOR             | Red   |      | 3.29        | Positive | 16.7 +/- 11.4                    |  |
| 673              | Exterior | C                             | Ext. House 28     | Porch Balusters        | Wood      | POOR             | Red   |      | 2.2         | Positive | 23.2 +/- 15.1                    |  |
| 674              | Exterior | C                             | Ext. House 28     | Porch Rails            | Wood      | POOR             | Red   |      | 1.54        | Positive | 4.9 +/- 2.9                      |  |
| 675              | Exterior | C                             | Ext. House 28     | Awning Ceiling         | Wood      | POOR             | Red   |      | 1.36        | Positive | 1.4 +/- 0.4                      |  |
| 676              | Exterior | C                             | Ext. House 28     | Awning Supports        | Wood      | POOR             | Red   |      | 2.71        | Positive | 19.8 +/- 13                      |  |

**ETC - Environmental Services WILCO Environmental**

**APPENDIX A**

**All Paint Samples Taken - In Order Sampled**

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| <b>Client</b>           |          | Genesee County Land Bank      |                   |                  |           |                  |         |      |             |             |                                  |  |
|-------------------------|----------|-------------------------------|-------------------|------------------|-----------|------------------|---------|------|-------------|-------------|----------------------------------|--|
| <b>Survey Location:</b> |          | 924 Eddy St., Flint, MI 48503 |                   |                  |           |                  |         |      |             |             |                                  |  |
| <b>Survey Date:</b>     |          | 65-27-2011                    |                   |                  |           |                  |         |      |             |             |                                  |  |
| <b>Inspectors:</b>      |          | Michael Gravlin               |                   |                  |           | <b>License #</b> | P-00313 |      |             | <b>Job#</b> | 137076                           |  |
| Sample #                | Floor    | Wall / Side                   | Room and #        | Component        | Substrate | Visual Condition | Color   | Note | Depth Index | Result      | mg/cm <sup>2</sup> +/- Precision |  |
| 677                     | Exterior | C                             | Ext. House 28     | Awning Joists    | Wood      | POOR             | Red     |      | 2.07        | Positive    | 22.3 +/- 14.3                    |  |
| 678                     | Exterior | D                             | Ext. House 28     | Wall             | Stucco    | POOR             | White   |      | 2.69        | Positive    | 16.1 +/- 11.8                    |  |
| 679                     | Exterior | A                             | Grounds 29        | Fence            | Metal     | POOR             | Black   |      | 1.84        | Negative    | 0.03 +/- 0.12                    |  |
| 680                     | Exterior | D                             | Ext. House 28     | Conduit          | Metal     | POOR             | White   |      | 1.68        | Positive    | 1.9 +/- 0.6                      |  |
| 681                     |          |                               | CALIBRATE         |                  |           |                  |         |      | 2.55        | Positive    | 1 +/- 0.1                        |  |
| 682                     |          |                               | CALIBRATE         |                  |           |                  |         |      | 2.59        | Positive    | 1 +/- 0.1                        |  |
| 683                     |          |                               | CALIBRATE         |                  |           |                  |         |      | 2.55        | Positive    | 1 +/- 0.1                        |  |
| 684                     | First    | All                           | Bathroom 9        | Win. Sash, ext.  | Wood      | POOR             | White   |      |             | Positive    | Presumed +/-                     |  |
| 685                     | First    | All                           | Bathroom 9        | Win. Well/Trough | Wood      | POOR             | White   |      |             | Positive    | Presumed +/-                     |  |
| 686                     | First    | All                           | Bathroom 9        | Win. Jamb        | Wood      | POOR             | White   |      |             | Positive    | Presumed +/-                     |  |
| 687                     | Second   | All                           | Master Bedroom 13 | Win. Sash, ext.  | Wood      | POOR             | White   |      |             | Positive    | Presumed +/-                     |  |
| 688                     | Second   | All                           | Master Bedroom 13 | Win. Well/Trough | Wood      | POOR             | White   |      |             | Positive    | Presumed +/-                     |  |
| 689                     | Second   | All                           | Master Bedroom 13 | Win. Jamb        | Wood      | POOR             | White   |      |             | Positive    | Presumed +/-                     |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |       | Genesee County Land Bank      |                  |                  |            |                  |        |      |             |          |                                  |  |
|------------------|-------|-------------------------------|------------------|------------------|------------|------------------|--------|------|-------------|----------|----------------------------------|--|
| Survey Location: |       | 924 Eddy St., Flint, MI 48503 |                  |                  |            |                  |        |      |             |          |                                  |  |
| Survey Date:     |       | 65-27-2011                    |                  |                  |            |                  |        |      |             |          |                                  |  |
| Inspectors:      |       | Michael Gravin                |                  |                  | License #: | P-00313          |        |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor | Wall / Side                   | Room and #       | Component        | Substrate  | Visual Condition | Color  | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 12               | First | D                             | Living Room 1    | Casing           | Wood       | FAIR             | Green  | 0    | 8.84        | Positive | 1.4 +/- 0.4                      |  |
| 13               | First | D                             | Living Room 1    | Win. Apron       | Wood       | POOR             | Green  | 0    | 10          | Positive | 11.3 +/- 9.3                     |  |
| 14               | First | D                             | Living Room 1    | Win. Sill/Stool  | Wood       | POOR             | Green  | 0    | 8.24        | Positive | 15.1 +/- 10.9                    |  |
| 15               | First | D                             | Living Room 1    | Win. Casing      | Wood       | POOR             | Green  | 0    | 10          | Positive | 14.5 +/- 10.9                    |  |
| 16               | First | D                             | Living Room 1    | Win. Stop        | Wood       | POOR             | Green  | 0    | 10          | Positive | 10.7 +/- 8.9                     |  |
| 17               | First | D                             | Living Room 1    | Win. Sash        | Wood       | POOR             | Green  | 0    | 10          | Positive | 12.4 +/- 9.6                     |  |
| 18               | First | D                             | Living Room 1    | Win. Sash, ext.  | Wood       | POOR             | White  | 0    | 3.24        | Positive | 14.4 +/- 10.9                    |  |
| 19               | First | D                             | Living Room 1    | Win. Well/Trough | Wood       | POOR             | White  | 0    | 10          | Positive | 14.3 +/- 10.4                    |  |
| 20               | First | D                             | Living Room 1    | Win. Jamb        | Wood       | POOR             | White  | 0    | 10          | Positive | 11.2 +/- 9.7                     |  |
| 22               | First | B                             | Living Room 1    | Door Casing      | Wood       | POOR             | Green  | 0    | 10          | Positive | 15.2 +/- 10.7                    |  |
| 24               | First | B                             | Living Room 1    | Door Jamb        | Wood       | FAIR             | White  | 0    | 4.26        | Positive | 2 +/- 0.7                        |  |
| 43               | First | A                             | Front Entry 2    | Door Jamb        | Wood       | FAIR             | White  | 0    | 7.22        | Positive | 17.5 +/- 12.1                    |  |
| 45               | First | A                             | Front Entry 2    | Door Threshold   | Wood       | POOR             | Red    | 0    | 2.97        | Positive | 8.7 +/- 3.7                      |  |
| 69               | First | C                             | Lower Sun Room 4 | Wall             | Stucco     | POOR             | Beige  | 0    | 2.21        | Positive | 14.8 +/- 11.6                    |  |
| 70               | First | D                             | Lower Sun Room 4 | Wall             | Stucco     | POOR             | Beige  | 0    | 2.15        | Positive | 13 +/- 9.8                       |  |
| 72               | First | A                             | Lower Sun Room 4 | Beam             | Wood       | FAIR             | White  | 0    | 2.24        | Positive | 4.1 +/- 3                        |  |
| 73               | First | A                             | Lower Sun Room 4 | Crown Molding    | Wood       | FAIR             | White  | 0    | 2.45        | Positive | 41.5 +/- 22.4                    |  |
| 74               | First | D                             | Lower Sun Room 4 | Fascia           | Wood       | FAIR             | Yellow | 0    | 2.23        | Positive | 36.9 +/- 21.1                    |  |
| 75               | First | C                             | Lower Sun Room 4 | Fascia           | Wood       | POOR             | White  | 0    | 3.7         | Positive | 33.6 +/- 19                      |  |
| 76               | First | D                             | Lower Sun Room 4 | Door Casing      | Wood       | POOR             | Yellow | 0    | 3.59        | Positive | 13.6 +/- 10.6                    |  |
| 77               | First | D                             | Lower Sun Room 4 | Door Jamb        | Wood       | POOR             | White  | 0    | 2.08        | Positive | 4.1 +/- 3                        |  |
| 78               | First | D                             | Lower Sun Room 4 | Door Stop        | Wood       | POOR             | White  | 0    | 2.83        | Positive | 13.4 +/- 10.5                    |  |
| 79               | First | D                             | Lower Sun Room 4 | Door Threshold   | Wood       | POOR             | Grey   | 0    | 3.87        | Positive | 11.6 +/- 9.9                     |  |
| 84               | First | A                             | Lower Sun Room 4 | Win. Sash        | Wood       | POOR             | White  | 0    | 1.79        | Positive | 1.5 +/- 0.5                      |  |
| 85               | First | Floor                         | Lower Sun Room 4 | Floor            | Wood       | POOR             | Grey   | 0    | 6.6         | Positive | 25.5 +/- 15.3                    |  |
| 86               | First | A                             | Hallway 5        | Wall             | Plaster    | POOR             | Green  | 0    | 8.41        | Positive | 15 +/- 11.7                      |  |
| 87               | First | C                             | Hallway 5        | Wall             | Plaster    | POOR             | Green  | 0    | 10          | Positive | 16.7 +/- 12.2                    |  |
| 88               | First | D                             | Hallway 5        | Wall             | Plaster    | FAIR             | Green  | 0    | 10          | Positive | 17.5 +/- 12.4                    |  |
| 89               | First | Ceiling                       | Hallway 5        | Ceiling          | Plaster    | POOR             | Green  | 0    | 3.49        | Positive | 15.3 +/- 11.7                    |  |
| 93               | First | A                             | Hallway 5        | Stair Stringer   | Wood       | POOR             | Green  | 0    | 10          | Positive | 8.6 +/- 4                        |  |
| 94               | First | A                             | Hallway 5        | Archway cas.     | Wood       | POOR             | Green  | 0    | 10          | Positive | 10.2 +/- 8.4                     |  |
| 95               | First | A                             | Hallway 5        | Stair Riser      | Wood       | POOR             | Green  | 0    | 10          | Positive | 11 +/- 9.1                       |  |
| 96               | First | A                             | Multi-Use Room 6 | Wall             | Plaster    | POOR             | Yellow | 0    | 8.45        | Positive | 19.3 +/- 13.7                    |  |
| 97               | First | B                             | Multi-Use Room 6 | Wall             | Plaster    | POOR             | Yellow | 0    | 10          | Positive | 20.1 +/- 14.2                    |  |
| 98               | First | Ceiling                       | Multi-Use Room 6 | Ceiling          | Plaster    | POOR             | White  | 0    | 2.82        | Positive | 27.7 +/- 16.9                    |  |
| 99               | First | B                             | Multi-Use Room 6 | Crown Molding    | Wood       | POOR             | Yellow | 0    | 3.69        | Positive | 3.9 +/- 2.7                      |  |
| 100              | First | B                             | Multi-Use Room 6 | Wall             | Wood       | POOR             | Yellow | 0    | 10          | Positive | 1.5 +/- 0.5                      |  |
| 106              | First | B                             | Multi-Use Room 6 | Win. Sash, ext.  | Wood       | POOR             | White  | 0    | 3.9         | Positive | 13.9 +/- 10.2                    |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |       | Genesee County Land Bank      |                  |                  |            |                  |        |      |             |          |                                  |
|------------------|-------|-------------------------------|------------------|------------------|------------|------------------|--------|------|-------------|----------|----------------------------------|
| Survey Location: |       | 924 Eddy St., Flint, MI 48503 |                  |                  |            |                  |        |      |             |          |                                  |
| Survey Date:     |       | 65-27-2011                    |                  |                  |            |                  |        |      |             |          |                                  |
| Inspectors:      |       |                               | Michael Gravin   |                  | License #: | P-00313          |        |      | Job #:      | 137076   |                                  |
| Sample #         | Floor | Wall / Side                   | Room and #       | Component        | Substrate  | Visual Condition | Color  | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |
| 107              | First | B                             | Multi-Use Room 6 | Win. Well/Trough | Wood       | POOR             | White  | 0    | 3.8         | Positive | 19.9 +/- 13.2                    |
| 108              | First | B                             | Multi-Use Room 6 | Win. Jamb        | Wood       | POOR             | White  | 0    | 3.58        | Positive | 23.5 +/- 14.9                    |
| 109              | First | B                             | Multi-Use Room 6 | Cabinet Out      | Wood       | FAIR             | White  | 0    | 10          | Positive | 2 +/- 0.8                        |
| 111              | First | B                             | Multi-Use Room 6 | Cabinet Door     | Wood       | FAIR             | Blue   | 0    | 6.18        | Positive | 2.4 +/- 0.8                      |
| 112              | First | B                             | Multi-Use Room 6 | Cabinet Shelf    | Wood       | FAIR             | Green  | 0    | 2.64        | Positive | 2.8 +/- 1.8                      |
| 113              | First | B                             | Multi-Use Room 6 | Shelf Bracket    | Wood       | FAIR             | Green  | 0    | 2.71        | Positive | 2.5 +/- 1.3                      |
| 114              | First | B                             | Multi-Use Room 6 | Cabinet In       | Wood       | FAIR             | Green  | 0    | 2.27        | Positive | 3.2 +/- 1.8                      |
| 115              | First | B                             | Multi-Use Room 6 | Cabinet In       | Plaster    | POOR             | Green  | 0    | 2.13        | Positive | 24.2 +/- 15.8                    |
| 128              | First | B                             | Multi-Use Room 6 | Door             | Wood       | POOR             | Blue   | 0    | 10          | Positive | 1.5 +/- 0.5                      |
| 129              | First | D                             | Multi-Use Room 6 | Wall             | Wood       | POOR             | Green  | 0    | 7.27        | Positive | 19.8 +/- 13.7                    |
| 143              | First | D                             | Multi-Use Room 8 | Baseboard        | Wood       | POOR             | Pink   | 0    | 4.35        | Positive | 1.7 +/- 0.6                      |
| 144              | First | D                             | Multi-Use Room 8 | Win. Apron       | Wood       | FAIR             | Pink   | 0    | 5.82        | Positive | 2.3 +/- 1.3                      |
| 146              | First | D                             | Multi-Use Room 8 | Win. Casing      | Wood       | POOR             | Pink   | 0    | 4.64        | Positive | 1.6 +/- 0.5                      |
| 148              | First | D                             | Multi-Use Room 8 | Win. Sash        | Wood       | POOR             | Pink   | 0    | 7.33        | Positive | 3.5 +/- 2.4                      |
| 149              | First | D                             | Multi-Use Room 8 | Win. Sash, ext.  | Wood       | POOR             | Pink   | 0    | 2.59        | Positive | 4.4 +/- 3.4                      |
| 150              | First | D                             | Multi-Use Room 8 | Win. Well/Trough | Wood       | POOR             | Pink   | 0    | 2.01        | Positive | 8.7 +/- 3.8                      |
| 151              | First | D                             | Multi-Use Room 8 | Win. Jamb        | Wood       | POOR             | Pink   | 0    | 2.25        | Positive | 13.8 +/- 10.6                    |
| 152              | First | B                             | Multi-Use Room 8 | Entry door       | Wood       | POOR             | Pink   | 0    | 4.58        | Positive | 1.5 +/- 0.5                      |
| 158              | First | A                             | Multi-Use Room 8 | Clos. Stop       | Wood       | POOR             | Pink   | 0    | 2.91        | Positive | 1.6 +/- 0.6                      |
| 165              | First | D                             | Multi-Use Room 8 | Heat Pipe/Valve  | Metal      | POOR             | Pink   | 0    | 2.38        | Positive | 16.7 +/- 12.6                    |
| 168              | First | B                             | Bathroom 9       | Wall             | Plaster    | POOR             | Paper  | 0    | 5.09        | Positive | 1.5 +/- 0.5                      |
| 169              | First | C                             | Bathroom 9       | Wall             | Plaster    | POOR             | Paper  | 0    | 4.43        | Positive | 1.4 +/- 0.4                      |
| 171              | First | Ceiling                       | Bathroom 9       | Ceiling          | Plaster    | POOR             | White  | 0    | 2.67        | Positive | 1.8 +/- 0.7                      |
| 176              | First | A                             | Bathroom 9       | Bathtub          | Metal      | POOR             | White  | 0    | 2.09        | Positive | 2.6 +/- 1.1                      |
| 181              | First | C                             | Bathroom 9       | Win. Sash        | Wood       | POOR             | White  | 0    | 6.28        | Positive | 1.8 +/- 0.8                      |
| 183              | First | A                             | Kitchen 10       | Wall             | Plaster    | POOR             | Yellow | 0    | 4.93        | Positive | 29.3 +/- 17.7                    |
| 186              | First | C                             | Kitchen 10       | Wall             | Plaster    | POOR             | Yellow | 0    | 1.77        | Positive | 1.6 +/- 0.5                      |
| 187              | First | D                             | Kitchen 10       | Wall             | Plaster    | POOR             | White  | 0    | 2.7         | Positive | 2.1 +/- 1                        |
| 191              | First | Ceiling                       | Kitchen 10       | Ceiling          | Plaster    | POOR             | Yellow | 0    | 2.66        | Positive | 1.4 +/- 0.4                      |
| 192              | First | Ceiling                       | Kitchen 10       | Ceiling          | Plaster    | POOR             | Yellow | 0    | 8.81        | Positive | 30.1 +/- 17.6                    |
| 193              | First | D                             | Kitchen 10       | Door Casing      | Wood       | POOR             | Yellow | 0    | 5.67        | Positive | 1.8 +/- 0.7                      |
| 194              | First | D                             | Kitchen 10       | Door Jamb        | Wood       | POOR             | Blue   | 0    | 10          | Positive | 1.9 +/- 0.8                      |
| 195              | First | D                             | Kitchen 10       | Door             | Wood       | POOR             | Blue   | 0    | 10          | Positive | 14.5 +/- 10.7                    |
| 196              | First | D                             | Kitchen 10       | Door             | Wood       | POOR             | Yellow | 0    | 10          | Positive | 12.9 +/- 10.6                    |
| 197              | First | C                             | Kitchen 10       | Door Casing      | Wood       | POOR             | Yellow | 0    | 5.29        | Positive | 3.1 +/- 1.9                      |
| 200              | First | C                             | Kitchen 10       | Win. Apron       | Wood       | POOR             | Yellow | 0    | 5.5         | Positive | 3.9 +/- 2.7                      |
| 202              | First | C                             | Kitchen 10       | Win. Casing      | Wood       | POOR             | Yellow | 0    | 4.88        | Positive | 1.8 +/- 0.7                      |
| 203              | First | C                             | Kitchen 10       | Win. Sash        | Wood       | POOR             | Yellow | 0    | 4.65        | Positive | 2.6 +/- 1.5                      |
| 204              | First | C                             | Kitchen 10       | Win. Sash, ext.  | Wood       | POOR             | White  | 0    | 2.77        | Positive | 3.9 +/- 2.3                      |

## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |        | Genesee County Land Bank      |                   |                  |            |                  |        |      |             |          |                                  |  |
|------------------|--------|-------------------------------|-------------------|------------------|------------|------------------|--------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |                   |                  |            |                  |        |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |                   |                  |            |                  |        |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravin                |                   |                  | License #: | P-00313          |        |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and #        | Component        | Substrate  | Visual Condition | Color  | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 205              | First  | C                             | Kitchen 10        | Win. Jamb        | Wood       | POOR             | White  | 0    | 2.31        | Positive | 2.7 +/- 1.5                      |  |
| 206              | First  | C                             | Kitchen 10        | Win. Well/Trough | Wood       | POOR             | White  | 0    | 2.59        | Positive | 3.4 +/- 2                        |  |
| 207              | First  | B                             | Kitchen 10        | Clos. Casing     | Wood       | FAIR             | Yellow | 0    | 5.19        | Positive | 1.4 +/- 0.4                      |  |
| 210              | First  | B                             | Kitchen 10        | Clos. Door       | Wood       | POOR             | Yellow | 0    | 2.35        | Positive | 1.3 +/- 0.3                      |  |
| 211              | First  | B                             | Kitchen 10        | Clos. Door       | Wood       | POOR             | Pink   | 0    | 2.94        | Positive | 1.7 +/- 0.6                      |  |
| 214              | First  | A                             | Dining Room 11    | Wall             | Plaster    | POOR             | Paper  | 0    | 10          | Positive | 2.8 +/- 1.6                      |  |
| 215              | First  | B                             | Dining Room 11    | Wall             | Plaster    | POOR             | White  | 0    | 5.18        | Positive | 2.6 +/- 1                        |  |
| 217              | First  | D                             | Dining Room 11    | Wall             | Plaster    | POOR             | White  | 0    | 5.44        | Positive | 4.1 +/- 3                        |  |
| 218              | First  | Ceiling                       | Dining Room 11    | Ceiling          | Plaster    | POOR             | White  | 0    | 3.72        | Positive | 2.7 +/- 1.6                      |  |
| 219              | First  | D                             | Dining Room 11    | Fire Mantle      | Wood       | POOR             | White  | 0    | 10          | Positive | 18 +/- 11.8                      |  |
| 220              | First  | D                             | Dining Room 11    | Baseboard        | Wood       | POOR             | White  | 0    | 10          | Positive | 14.5 +/- 10.9                    |  |
| 221              | First  | C                             | Dining Room 11    | Win. Apron       | Wood       | POOR             | Beige  | 0    | 4.25        | Positive | 3.4 +/- 2                        |  |
| 222              | First  | C                             | Dining Room 11    | Win. Sill/Stool  | Wood       | POOR             | Beige  | 0    | 6.51        | Positive | 2.4 +/- 1.3                      |  |
| 223              | First  | C                             | Dining Room 11    | Win. Casing      | Wood       | POOR             | Beige  | 0    | 5.17        | Positive | 3.2 +/- 2                        |  |
| 224              | First  | C                             | Dining Room 11    | Win. Sash        | Wood       | POOR             | Beige  | 0    | 7.21        | Positive | 2.9 +/- 1.7                      |  |
| 225              | First  | C                             | Dining Room 11    | Win. Sash        | Wood       | POOR             | Beige  | 0    | 7.75        | Positive | 3.4 +/- 2.3                      |  |
| 230              | First  | B                             | Dining Room 11    | Clos. Wall       | Plaster    | POOR             | Yellow | 0    | 10          | Positive | 2.6 +/- 1                        |  |
| 231              | First  | B                             | Dining Room 11    | Clos. Wall       | Plaster    | POOR             | Pink   | 0    | 10          | Positive | 2.1 +/- 0.9                      |  |
| 232              | First  | B                             | Dining Room 11    | Clos. Ceiling    | Plaster    | POOR             | Pink   | 0    | 10          | Positive | 2.7 +/- 1.6                      |  |
| 233              | First  | B                             | Dining Room 11    | Door Casing      | Wood       | POOR             | White  | 0    | 6.68        | Positive | 1.7 +/- 0.6                      |  |
| 234              | First  | B                             | Dining Room 11    | Door Jamb        | Wood       | POOR             | White  | 0    | 8.06        | Positive | 12.9 +/- 10.7                    |  |
| 235              | First  | B                             | Dining Room 11    | Door             | Wood       | POOR             | Yellow | 0    | 3.71        | Positive | 12.7 +/- 10.4                    |  |
| 236              | First  | B                             | Dining Room 11    | Door             | Wood       | POOR             | Black  | 0    | 8.59        | Positive | 10.4 +/- 4.4                     |  |
| 237              | First  | D                             | Dining Room 11    | Win. Sash, ext.  | Wood       | POOR             | White  | 0    | 3.72        | Positive | 3.7 +/- 2.5                      |  |
| 238              | First  | D                             | Dining Room 11    | Win. Jamb        | Wood       | POOR             | White  | 0    | 3.42        | Positive | 4.5 +/- 2.8                      |  |
| 239              | First  | D                             | Dining Room 11    | Win. Well/Trough | Wood       | POOR             | White  | 0    | 2.86        | Positive | 4.4 +/- 2.7                      |  |
| 260              | Second | B                             | Main Stairway 12  | Win. Sash, ext.  | Wood       | POOR             | White  | 0    | 2.84        | Positive | 25.7 +/- 16.2                    |  |
| 261              | Second | B                             | Main Stairway 12  | Win. Well/Trough | Wood       | POOR             | White  | 0    | 2.66        | Positive | 21 +/- 13.8                      |  |
| 262              | Second | B                             | Main Stairway 12  | Win. Jamb        | Wood       | POOR             | White  | 0    | 2.67        | Positive | 17.9 +/- 12.1                    |  |
| 266              | Second | Center                        | Main Stairway 12  | Baluster         | Wood       | POOR             | White  | 0    | 10          | Positive | 11.1 +/- 9.3                     |  |
| 272              | Second | C                             | Main Stairway 12  | Baseboard        | Wood       | POOR             | White  | 0    | 10          | Positive | 11.5 +/- 9                       |  |
| 277              | Second | A                             | Main Stairway 12  | Clos. Casing     | Wood       | POOR             | White  | 0    | 10          | Positive | 11 +/- 8.8                       |  |
| 278              | Second | A                             | Main Stairway 12  | Clos. Jamb       | Wood       | POOR             | White  | 0    | 9.42        | Positive | 10.4 +/- 9.2                     |  |
| 279              | Second | A                             | Main Stairway 12  | Clos. Stop       | Wood       | POOR             | White  | 0    | 7.02        | Positive | 12.5 +/- 9.7                     |  |
| 280              | Second | A                             | Main Stairway 12  | Clos. Door       | Wood       | POOR             | White  | 0    | 7.85        | Positive | 18.1 +/- 12.6                    |  |
| 281              | Second | A                             | Main Stairway 12  | Clos. Shelf      | Wood       | POOR             | White  | 0    | 2.29        | Positive | 9.2 +/- 8.1                      |  |
| 282              | Second | A                             | Main Stairway 12  | Clos. Baseboard  | Wood       | FAIR             | White  | 0    | 2.48        | Positive | 7.9 +/- 5.9                      |  |
| 296              | Second | D                             | Master Bedroom 13 | Baseboard        | Wood       | POOR             | White  | 0    | 10          | Positive | 11.7 +/- 9.4                     |  |
| 297              | Second | D                             | Master Bedroom 13 | Clos. Casing     | Wood       | POOR             | White  | 0    | 10          | Positive | 10.4 +/- 9                       |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |        | Genesee County Land Bank      |                   |                    |            |                  |       |      |             |          |                                  |  |
|------------------|--------|-------------------------------|-------------------|--------------------|------------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |                   |                    |            |                  |       |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |                   |                    |            |                  |       |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravin                |                   |                    | License #: | P-00313          |       |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and #        | Component          | Substrate  | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 298              | Second | D                             | Master Bedroom 13 | Clos. Jamb         | Wood       | POOR             | White | 0    | 8.89        | Positive | 9.9 +/- 8.4                      |  |
| 299              | Second | D                             | Master Bedroom 13 | Clos. Stop         | Wood       | POOR             | White | 0    | 6.44        | Positive | 4.9 +/- 3.1                      |  |
| 300              | Second | D                             | Master Bedroom 13 | Clos. Baseboard    | Wood       | FAIR             | White | 0    | 10          | Positive | 9.4 +/- 4.1                      |  |
| 301              | Second | D                             | Master Bedroom 13 | Coat Rack          | Wood       | FAIR             | White | 0    | 10          | Positive | 9.9 +/- 8.1                      |  |
| 302              | Second | D                             | Master Bedroom 13 | Attic cover casing | Wood       | POOR             | White | 0    | 8.77        | Positive | 4.2 +/- 2.9                      |  |
| 305              | Second | A                             | Master Bedroom 13 | Door Casing        | Wood       | POOR             | White | 0    | 3.72        | Positive | 3.8 +/- 2.7                      |  |
| 306              | Second | A                             | Master Bedroom 13 | Door Jamb          | Wood       | POOR             | White | 0    | 10          | Positive | 7.5 +/- 3.7                      |  |
| 307              | Second | A                             | Master Bedroom 13 | Door Stop          | Wood       | POOR             | White | 0    | 4.1         | Positive | 6.3 +/- 3.4                      |  |
| 308              | Second | A                             | Master Bedroom 13 | Door               | Wood       | POOR             | White | 0    | 10          | Positive | 15.9 +/- 11.4                    |  |
| 312              | Second | B                             | Master Bedroom 13 | Win. Casing        | Wood       | POOR             | White | 0    | 6.45        | Positive | 10.2 +/- 8.6                     |  |
| 313              | Second | B                             | Master Bedroom 13 | Win. Apron         | Wood       | POOR             | White | 0    | 7.28        | Positive | 10.5 +/- 4.5                     |  |
| 314              | Second | B                             | Master Bedroom 13 | Win. Stop          | Wood       | FAIR             | White | 0    | 8.86        | Positive | 7.4 +/- 3.6                      |  |
| 315              | Second | B                             | Master Bedroom 13 | Win. Sash          | Wood       | POOR             | White | 0    | 8.15        | Positive | 9.4 +/- 4.1                      |  |
| 317              | Second | C                             | Master Bedroom 13 | Door Casing        | Wood       | POOR             | White | 0    | 10          | Positive | 2.4 +/- 1.4                      |  |
| 318              | Second | C                             | Master Bedroom 13 | Door Jamb          | Wood       | POOR             | White | 0    | 4.3         | Positive | 10.1 +/- 8.5                     |  |
| 319              | Second | C                             | Master Bedroom 13 | Entry door         | Wood       | POOR             | Green | 0    | 3.34        | Positive | 3.5 +/- 2.3                      |  |
| 320              | Second | C                             | Master Bedroom 13 | Entry door         | Wood       | POOR             | White | 0    | 10          | Positive | 2.9 +/- 1.7                      |  |
| 321              | Second | C                             | Master Bedroom 13 | Door Threshold     | Wood       | POOR             | White | 0    | 10          | Positive | 3.5 +/- 2                        |  |
| 339              | Second | C                             | Dressing room 14  | Win. Sash          | Wood       | POOR             | White | 0    | 10          | Positive | 9.1 +/- 8                        |  |
| 340              | Second | C                             | Dressing room 14  | Win. Sash, ext.    | Wood       | POOR             | White | 0    | 1.66        | Positive | 17.9 +/- 12.5                    |  |
| 341              | Second | C                             | Dressing room 14  | Win. Well/Trough   | Wood       | POOR             | White | 0    | 1.77        | Positive | 2.8 +/- 1.6                      |  |
| 342              | Second | C                             | Dressing room 14  | Win. Jamb          | Wood       | POOR             | White | 0    | 1.55        | Positive | 23.6 +/- 14.8                    |  |
| 345              | Second | A                             | Dressing room 14  | Clos. Jamb         | Wood       | POOR             | White | 0    | 5.6         | Positive | 1.4 +/- 0.3                      |  |
| 346              | Second | A                             | Dressing room 14  | Clos. Stop         | Wood       | POOR             | White | 0    | 5.96        | Positive | 2.2 +/- 0.8                      |  |
| 348              | Second | A                             | Dressing room 14  | Clos. Shelf        | Wood       | POOR             | White | 0    | 3.8         | Positive | 1.4 +/- 0.4                      |  |
| 359              | Second | A                             | Bathroom 15       | Wall               | Plaster    | POOR             | White | 0    | 10          | Positive | 2.4 +/- 1                        |  |
| 360              | Second | B                             | Bathroom 15       | Wall               | Plaster    | POOR             | White | 0    | 10          | Positive | 4.2 +/- 3.1                      |  |
| 361              | Second | C                             | Bathroom 15       | Wall               | Plaster    | POOR             | White | 0    | 10          | Positive | 2.4 +/- 1                        |  |
| 362              | Second | D                             | Bathroom 15       | Wall               | Plaster    | POOR             | White | 0    | 10          | Positive | 1.6 +/- 0.6                      |  |
| 363              | Second | D                             | Bathroom 15       | Ceiling            | Plaster    | POOR             | White | 0    | 10          | Positive | 2.6 +/- 1                        |  |
| 364              | Second | A                             | Bathroom 15       | Chair Rail         | Wood       | FAIR             | White | 0    | 10          | Positive | 2.7 +/- 1.7                      |  |
| 365              | Second | A                             | Bathroom 15       | Win. Apron         | Wood       | POOR             | White | 0    | 10          | Positive | 3.1 +/- 2.1                      |  |
| 366              | Second | A                             | Bathroom 15       | Win. Sill/Stool    | Wood       | POOR             | White | 0    | 8.56        | Positive | 3.3 +/- 2.1                      |  |
| 367              | Second | A                             | Bathroom 15       | Win. Casing        | Wood       | POOR             | White | 0    | 10          | Positive | 4 +/- 2.8                        |  |
| 368              | Second | A                             | Bathroom 15       | Win. Sash          | Wood       | POOR             | White | 0    | 9.55        | Positive | 3.7 +/- 2.6                      |  |
| 369              | Second | A                             | Bathroom 15       | Win. Sash, ext.    | Wood       | POOR             | White | 0    | 4.46        | Positive | 16.2 +/- 11.8                    |  |
| 370              | Second | A                             | Bathroom 15       | Win. Jamb          | Wood       | POOR             | White | 0    | 5.14        | Positive | 16.7 +/- 11.7                    |  |
| 371              | Second | A                             | Bathroom 15       | Win. Well/Trough   | Wood       | POOR             | White | 0    | 4.53        | Positive | 10.2 +/- 9.1                     |  |
| 372              | Second | C                             | Bathroom 15       | Door Casing        | Wood       | POOR             | White | 0    | 6.51        | Positive | 1.6 +/- 0.6                      |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |        | Genesee County Land Bank      |             |                    |            |                  |       |      |             |          |                                  |  |
|------------------|--------|-------------------------------|-------------|--------------------|------------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |             |                    |            |                  |       |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |             |                    |            |                  |       |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravin                |             |                    | License #: | P-00313          |       |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and #  | Component          | Substrate  | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 373              | Second | C                             | Bathroom 15 | Door Jamb          | Wood       | POOR             | White | 0    | 7.18        | Positive | 3.7 +/- 2.1                      |  |
| 374              | Second | C                             | Bathroom 15 | Door Stop          | Wood       | POOR             | White | 0    | 7.4         | Positive | 2.3 +/- 0.8                      |  |
| 381              | Second | D                             | Bedroom 17  | Baseboard          | Wood       | POOR             | Green | 0    | 10          | Positive | 16.3 +/- 12                      |  |
| 382              | Second | D                             | Bedroom 17  | Win. Apron         | Wood       | POOR             | Green | 0    | 10          | Positive | 10.3 +/- 8.7                     |  |
| 383              | Second | D                             | Bedroom 17  | Win. Sill/Stool    | Wood       | POOR             | Green | 0    | 7.74        | Positive | 11.6 +/- 9.6                     |  |
| 384              | Second | D                             | Bedroom 17  | Win. Casing        | Wood       | POOR             | Green | 0    | 10          | Positive | 11.1 +/- 9.2                     |  |
| 385              | Second | D                             | Bedroom 17  | Win. Stop          | Wood       | POOR             | Green | 0    | 10          | Positive | 9.1 +/- 7.9                      |  |
| 386              | Second | D                             | Bedroom 17  | Win. Sash          | Wood       | POOR             | Green | 0    | 10          | Positive | 7.6 +/- 3.6                      |  |
| 387              | Second | D                             | Bedroom 17  | Win. Sash, ext.    | Wood       | POOR             | White | 0    | 10          | Positive | 11.2 +/- 9.2                     |  |
| 388              | Second | D                             | Bedroom 17  | Win. Well/Trough   | Wood       | POOR             | White | 0    | 10          | Positive | 10.1 +/- 4.4                     |  |
| 389              | Second | D                             | Bedroom 17  | Win. Jamb          | Wood       | POOR             | White | 0    | 2.74        | Positive | 27.1 +/- 16.4                    |  |
| 390              | Second | C                             | Bedroom 17  | Clos. Casing       | Wood       | POOR             | White | 0    | 10          | Positive | 10.7 +/- 4.5                     |  |
| 391              | Second | C                             | Bedroom 17  | Clos. Door         | Wood       | POOR             | White | 0    | 10          | Positive | 9.8 +/- 8.6                      |  |
| 392              | Second | C                             | Bedroom 17  | Clos. Jamb         | Wood       | POOR             | White | 0    | 5.69        | Positive | 7.2 +/- 3.7                      |  |
| 393              | Second | C                             | Bedroom 17  | Clos. Stop         | Wood       | POOR             | White | 0    | 2.96        | Positive | 1.8 +/- 0.7                      |  |
| 394              | Second | C                             | Bedroom 17  | Clos. Casing in.   | Wood       | POOR             | White | 0    | 7.47        | Positive | 7.6 +/- 3.6                      |  |
| 395              | Second | C                             | Bedroom 17  | Clos. Shelf        | Wood       | POOR             | White | 0    | 5.14        | Positive | 1.3 +/- 0.3                      |  |
| 396              | Second | C                             | Bedroom 17  | Shelf Bracket      | Wood       | POOR             | White | 0    | 5.56        | Positive | 2 +/- 0.7                        |  |
| 397              | Second | C                             | Bedroom 17  | Clos. Baseboard    | Wood       | POOR             | White | 0    | 10          | Positive | 10.4 +/- 8.9                     |  |
| 400              | Second | C                             | Bedroom 17  | Door Casing        | Wood       | POOR             | Green | 0    | 10          | Positive | 10 +/- 4.4                       |  |
| 401              | Second | C                             | Bedroom 17  | Door Jamb          | Wood       | POOR             | White | 0    | 5.61        | Positive | 9.8 +/- 4.3                      |  |
| 402              | Second | C                             | Bedroom 17  | Door Stop          | Wood       | POOR             | White | 0    | 2.04        | Positive | 4 +/- 2.7                        |  |
| 403              | Second | C                             | Bedroom 17  | Door               | Wood       | POOR             | Green | 0    | 10          | Positive | 10.4 +/- 9                       |  |
| 413              | Second | D                             | Hallway 16  | Baseboard          | Wood       | POOR             | White | 0    | 10          | Positive | 12 +/- 9.9                       |  |
| 414              | Second | A                             | Hallway 16  | Door Casing        | Wood       | POOR             | White | 0    | 10          | Positive | 9.1 +/- 4.1                      |  |
| 415              | Second | B                             | Hallway 16  | Laundry Chute Door | Wood       | FAIR             | White | 0    | 10          | Positive | 7 +/- 3.5                        |  |
| 416              | Second | B                             | Hallway 16  | Laundry Chute Door | Wood       | FAIR             | White | 0    | 5.95        | Positive | 1.4 +/- 0.4                      |  |
| 432              | Second | C                             | Bedroom 18  | Door Casing        | Wood       | POOR             | Black | 0    | 10          | Positive | 14.3 +/- 10.5                    |  |
| 433              | Second | B                             | Bedroom 18  | Win. Apron         | Wood       | POOR             | White | 0    | 10          | Positive | 14.7 +/- 11.5                    |  |
| 434              | Second | B                             | Bedroom 18  | Win. Sill/Stool    | Wood       | POOR             | White | 0    | 10          | Positive | 17.9 +/- 12.3                    |  |
| 435              | Second | B                             | Bedroom 18  | Win. Stop          | Wood       | POOR             | White | 0    | 10          | Positive | 16.4 +/- 12.3                    |  |
| 436              | Second | B                             | Bedroom 18  | Win. Sash          | Wood       | POOR             | White | 0    | 10          | Positive | 9.6 +/- 4.3                      |  |
| 437              | Second | B                             | Bedroom 18  | Win. Sash, ext.    | Wood       | POOR             | White | 0    | 10          | Positive | 18.7 +/- 12.6                    |  |
| 438              | Second | B                             | Bedroom 18  | Win. Well/Trough   | Wood       | POOR             | White | 0    | 10          | Positive | 18.5 +/- 12.6                    |  |
| 439              | Second | B                             | Bedroom 18  | Win. Jamb          | Wood       | POOR             | White | 0    | 3.06        | Positive | 25.7 +/- 15.5                    |  |
| 441              | Second | A                             | Bedroom 18  | Clos. Casing       | Wood       | POOR             | White | 0    | 10          | Positive | 10.6 +/- 8.8                     |  |
| 442              | Second | A                             | Bedroom 18  | Clos. Jamb         | Wood       | POOR             | White | 0    | 10          | Positive | 9.6 +/- 4.2                      |  |
| 443              | Second | A                             | Bedroom 18  | Clos. Stop         | Wood       | POOR             | White | 0    | 8.03        | Positive | 8.9 +/- 4.1                      |  |
| 444              | Second | A                             | Bedroom 18  | Clos. Door         | Wood       | POOR             | White | 0    | 10          | Positive | 11.3 +/- 9                       |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |          | Genesee County Land Bank      |                   |                  |            |                  |       |      |             |          |                                  |  |
|------------------|----------|-------------------------------|-------------------|------------------|------------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |          | 924 Eddy St., Flint, MI 48503 |                   |                  |            |                  |       |      |             |          |                                  |  |
| Survey Date:     |          | 65-27-2011                    |                   |                  |            |                  |       |      |             |          |                                  |  |
| Inspectors:      |          | Michael Gravin                |                   |                  | License #: | P-00313          |       |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor    | Wall / Side                   | Room and #        | Component        | Substrate  | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 445              | Second   | A                             | Bedroom 18        | Clos. Baseboard  | Wood       | POOR             | White | 0    | 10          | Positive | 11.1 +/- 4.7                     |  |
| 446              | Second   | A                             | Bedroom 18        | Clos. Casing in. | Wood       | POOR             | White | 0    | 3.47        | Positive | 3.1 +/- 1.8                      |  |
| 448              | Second   | A                             | Bedroom 18        | Clos. Shelf      | Wood       | POOR             | White | 0    | 2.57        | Positive | 1.8 +/- 0.7                      |  |
| 449              | Second   | A                             | Bedroom 18        | Shelf Bracket    | Wood       | FAIR             | White | 0    | 10          | Positive | 10.9 +/- 9.4                     |  |
| 453              | Second   | B                             | Bedroom 18        | Door Jamb        | Wood       | FAIR             | White | 0    | 10          | Positive | 9.8 +/- 4.4                      |  |
| 454              | Second   | B                             | Bedroom 18        | Door Stop        | Wood       | FAIR             | White | 0    | 9.97        | Positive | 10.3 +/- 8.7                     |  |
| 455              | Second   | B                             | Bedroom 18        | Door             | Wood       | FAIR             | White | 0    | 10          | Positive | 16 +/- 11.6                      |  |
| 470              | Second   | C                             | Upper Sun Room 19 | Win. Sash, ext.  | Wood       | POOR             | White | 0    | 7.71        | Positive | 4.5 +/- 3.2                      |  |
| 471              | Second   | C                             | Upper Sun Room 19 | Win. Well/Trough | Wood       | POOR             | White | 0    | 10          | Positive | 16.8 +/- 11.9                    |  |
| 472              | Second   | C                             | Upper Sun Room 19 | Win. Jamb        | Wood       | POOR             | White | 0    | 10          | Positive | 17.7 +/- 12.9                    |  |
| 474              | Second   | A                             | Upper Sun Room 19 | Door Jamb        | Wood       | POOR             | Black | 0    | 9.49        | Positive | 13.7 +/- 10.5                    |  |
| 475              | Second   | A                             | Upper Sun Room 19 | Door Stop        | Wood       | POOR             | Black | 0    | 9.58        | Positive | 12.8 +/- 9.8                     |  |
| 476              | Second   | A                             | Upper Sun Room 19 | Door             | Wood       | POOR             | Brown | 0    | 6.79        | Positive | 11.8 +/- 9.7                     |  |
| 480              | Exterior | C                             | Ext. House 28     | Win. Casing      | Wood       | POOR             | White | 0    | 3.28        | Positive | 18.3 +/- 12.8                    |  |
| 481              | Exterior | C                             | Ext. House 28     | Win. Sill/Stool  | Wood       | POOR             | White | 0    | 3.54        | Positive | 19.1 +/- 12.6                    |  |
| 482              | Exterior | C                             | Ext. House 28     | Door Casing      | Wood       | POOR             | White | 0    | 3.74        | Positive | 15.7 +/- 11                      |  |
| 483              | Exterior | C                             | Ext. House 28     | Ext. Soffit      | Wood       | POOR             | Red   | 0    | 3.09        | Positive | 20.4 +/- 13.5                    |  |
| 484              | Exterior | C                             | Ext. House 28     | Joist            | Wood       | POOR             | Red   | 0    | 4.12        | Positive | 18.3 +/- 12.5                    |  |
| 485              | Exterior | C                             | Ext. House 28     | Crown Molding    | Wood       | POOR             | Red   | 0    | 2.88        | Positive | 17.1 +/- 11.9                    |  |
| 486              | Exterior | C                             | Ext. House 28     | Ext. Fascia      | Wood       | POOR             | Red   | 0    | 3.02        | Positive | 17.8 +/- 11.9                    |  |
| 487              | Exterior | C                             | Ext. House 28     | Wall, Upper      | Wood       | POOR             | Red   | 0    | 1.86        | Positive | 1.9 +/- 0.6                      |  |
| 488              | Second   | C                             | Rear Stairway 21  | Win. Sash, ext.  | Wood       | POOR             | White | 0    | 2.66        | Positive | 15.8 +/- 11.5                    |  |
| 489              | Second   | C                             | Rear Stairway 21  | Win. Well/Trough | Wood       | POOR             | White | 0    | 2.61        | Positive | 18 +/- 12.3                      |  |
| 490              | Second   | C                             | Rear Stairway 21  | Win. Jamb        | Wood       | POOR             | White | 0    | 3.44        | Positive | 22.3 +/- 13.9                    |  |
| 491              | Exterior | C                             | Ext. House 28     | Wall, Upper      | Wood       | POOR             | Red   | 0    | 3.3         | Positive | 3.8 +/- 2.4                      |  |
| 492              | Exterior | A                             | Ext. House 28     | Wall, Upper      | Wood       | POOR             | Red   | 0    | 2.41        | Positive | 2.9 +/- 1.6                      |  |
| 493              | Exterior | B                             | Ext. House 28     | Wall, Upper      | Wood       | POOR             | Red   | 0    | 1.96        | Positive | 2.5 +/- 0.8                      |  |
| 495              | Second   | B                             | Bathroom 20       | Wall             | Plaster    | POOR             | White | 0    | 9.3         | Positive | 28.8 +/- 17                      |  |
| 498              | Second   | D                             | Bathroom 20       | Wall             | Plaster    | POOR             | Pink  | 0    | 6.61        | Positive | 32 +/- 17.5                      |  |
| 500              | Second   | D                             | Bathroom 20       | Crown Molding    | Plaster    | POOR             | Pink  | 0    | 10          | Positive | 2.8 +/- 1.5                      |  |
| 502              | Second   | D                             | Bathroom 20       | Radiator         | Metal      | POOR             | Beige | 0    | 3.43        | Positive | 2.6 +/- 1.2                      |  |
| 503              | Second   | A                             | Bathroom 20       | Door Casing      | Wood       | POOR             | Pink  | 0    | 10          | Positive | 10.7 +/- 9.2                     |  |
| 504              | Second   | A                             | Bathroom 20       | Door Jamb        | Wood       | POOR             | White | 0    | 8.31        | Positive | 10.3 +/- 8.8                     |  |
| 505              | Second   | A                             | Bathroom 20       | Door Stop        | Wood       | POOR             | White | 0    | 9.09        | Positive | 7.7 +/- 3.7                      |  |
| 506              | Second   | A                             | Bathroom 20       | Door             | Wood       | POOR             | White | 0    | 10          | Positive | 16.2 +/- 11.4                    |  |
| 507              | Second   | A                             | Bathroom 20       | Door             | Wood       | POOR             | Pink  | 0    | 10          | Positive | 16.6 +/- 11.6                    |  |
| 512              | Second   | C                             | Bathroom 20       | Cabinet In       | Plaster    | POOR             | Beige | 0    | 5.87        | Positive | 29.3 +/- 17.7                    |  |
| 515              | Second   | A                             | Rear Stairway 21  | Wall             | Plaster    | POOR             | White | 0    | 6.63        | Positive | 4.1 +/- 2.4                      |  |
| 516              | Second   | B                             | Rear Stairway 21  | Wall             | Plaster    | POOR             | White | 0    | 10          | Positive | 4.1 +/- 3                        |  |



## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |        | Genesee County Land Bank      |                   |                 |            |                  |       |      |             |          |                                  |  |
|------------------|--------|-------------------------------|-------------------|-----------------|------------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |                   |                 |            |                  |       |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |                   |                 |            |                  |       |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravin                |                   |                 | License #: | P-00313          |       |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and #        | Component       | Substrate  | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 517              | Second | C                             | Rear Stairway 21  | Wall            | Plaster    | POOR             | White | 0    | 10          | Positive | 4.9 +/- 3.3                      |  |
| 518              | Second | D                             | Rear Stairway 21  | Wall            | Plaster    | POOR             | White | 0    | 9.67        | Positive | 3.6 +/- 2.4                      |  |
| 519              | Second | Ceiling                       | Rear Stairway 21  | Ceiling         | Plaster    | POOR             | White | 0    | 10          | Positive | 3.3 +/- 2                        |  |
| 520              | Second | D                             | Rear Stairway 21  | Door Casing     | Wood       | POOR             | White | 0    | 7.13        | Positive | 12.6 +/- 10                      |  |
| 521              | Second | D                             | Rear Stairway 21  | Door Jamb       | Wood       | POOR             | White | 0    | 10          | Positive | 10.4 +/- 8.7                     |  |
| 522              | Second | A                             | Rear Stairway 21  | Baseboard       | Wood       | POOR             | White | 0    | 10          | Positive | 12 +/- 9.5                       |  |
| 523              | Second | A                             | Rear Stairway 21  | Railing Cap     | Wood       | POOR             | Brown | 0    | 8.13        | Positive | 12.4 +/- 10                      |  |
| 524              | Second | A                             | Rear Stairway 21  | Newel Post      | Wood       | POOR             | Brown | 0    | 4.93        | Positive | 14.3 +/- 10.8                    |  |
| 525              | Second | Center                        | Rear Stairway 21  | Baluster        | Wood       | POOR             | White | 0    | 8.89        | Positive | 12.2 +/- 10.2                    |  |
| 526              | Second | Center                        | Rear Stairway 21  | Lower Rail      | Wood       | POOR             | White | 0    | 5.01        | Positive | 16.9 +/- 11.9                    |  |
| 531              | Second | C                             | Rear Stairway 21  | Win. Apron      | Wood       | POOR             | White | 0    | 5.89        | Positive | 15.6 +/- 11                      |  |
| 532              | Second | C                             | Rear Stairway 21  | Win. Sill/Stool | Wood       | POOR             | White | 0    | 7.03        | Positive | 13.5 +/- 10.3                    |  |
| 533              | Second | C                             | Rear Stairway 21  | Win. Casing     | Wood       | POOR             | White | 0    | 6.42        | Positive | 14.5 +/- 10.8                    |  |
| 534              | Second | C                             | Rear Stairway 21  | Win. Sash       | Wood       | POOR             | White | 0    | 8.47        | Positive | 11.8 +/- 9.8                     |  |
| 535              | Second | Floor                         | Rear Stairway 21  | Stair Tread     | Wood       | POOR             | Grey  | 0    | 1.43        | Positive | 6.9 +/- 4                        |  |
| 536              | Second | Floor                         | Rear Stairway 21  | Stair Riser     | Wood       | POOR             | Grey  | 0    | 1.37        | Positive | 10 +/- 8.4                       |  |
| 537              | Second | C                             | Rear Stairway 21  | Stair Stringer  | Wood       | POOR             | Grey  | 0    | 1.78        | Positive | 5.3 +/- 3.4                      |  |
| 538              | Second | D                             | Rear Stairway 21  | Wall Casing     | Wood       | POOR             | White | 0    | 2.68        | Positive | 6 +/- 3.6                        |  |
| 539              | First  | D                             | Rear Stairway 21  | Wall            | Plaster    | POOR             | White | 0    | 10          | Positive | 4.3 +/- 3                        |  |
| 541              | First  | A                             | Rear Stairway 21  | Door Casing     | Wood       | POOR             | White | 0    | 2.73        | Positive | 1.5 +/- 0.5                      |  |
| 542              | First  | A                             | Rear Stairway 21  | Door Casing     | Wood       | POOR             | White | 0    | 5.35        | Positive | 1.7 +/- 0.6                      |  |
| 543              | First  | A                             | Rear Stairway 21  | Door Stop       | Wood       | POOR             | White | 0    | 2.33        | Positive | 1.8 +/- 0.7                      |  |
| 544              | First  | A                             | Rear Stairway 21  | Cabinet Out     | Wood       | POOR             | White | 0    | 6.65        | Positive | 2.4 +/- 1.3                      |  |
| 545              | First  | A                             | Rear Stairway 21  | Cabinet Door    | Wood       | POOR             | White | 0    | 6.98        | Positive | 1.9 +/- 0.7                      |  |
| 546              | First  | A                             | Rear Stairway 21  | Cabinet Shelf   | Wood       | FAIR             | White | 0    | 3.76        | Positive | 2.8 +/- 1.8                      |  |
| 547              | First  | A                             | Rear Stairway 21  | Cabinet In      | Wood       | FAIR             | White | 0    | 3.68        | Positive | 1.9 +/- 0.7                      |  |
| 552              | First  | Ceiling                       | Rear Stairway 21  | Ceiling         | Plaster    | POOR             | White | 0    | 7.58        | Positive | 3.4 +/- 2.1                      |  |
| 556              | First  | A                             | Basement Stair 22 | Wall            | Plaster    | POOR             | Blue  | 0    | 8.66        | Positive | 17.3 +/- 12.6                    |  |
| 557              | First  | B                             | Basement Stair 22 | Wall            | Plaster    | POOR             | Blue  | 0    | 10          | Positive | 18.7 +/- 13.1                    |  |
| 558              | First  | C                             | Basement Stair 22 | Wall            | Plaster    | POOR             | Blue  | 0    | 10          | Positive | 16.9 +/- 12                      |  |
| 559              | First  | C                             | Basement Stair 22 | Wall            | Plaster    | POOR             | Blue  | 0    | 10          | Positive | 18.2 +/- 13                      |  |
| 560              | First  | Ceiling                       | Basement Stair 22 | Ceiling         | Plaster    | POOR             | Blue  | 0    | 10          | Positive | 19.4 +/- 13.8                    |  |
| 562              | First  | A                             | Basement Stair 22 | Ledge           | Wood       | POOR             | Blue  | 0    | 3.48        | Positive | 11.1 +/- 9.5                     |  |
| 563              | First  | A                             | Basement Stair 22 | Wall, Lower     | Plaster    | POOR             | Blue  | 0    | 7.58        | Positive | 19.2 +/- 13.4                    |  |
| 564              | First  | B                             | Basement Stair 22 | Wall, Lower     | Plaster    | POOR             | Blue  | 0    | 10          | Positive | 15.9 +/- 12.6                    |  |
| 565              | First  | C                             | Basement Stair 22 | Wainscoting     | Wood       | POOR             | Blue  | 0    | 5.45        | Positive | 4.6 +/- 2.9                      |  |
| 567              | First  | C                             | Basement Stair 22 | Corner Trim     | Wood       | POOR             | Blue  | 0    | 10          | Positive | 10.7 +/- 8.8                     |  |
| 568              | First  | C                             | Basement Stair 22 | Door Casing     | Wood       | POOR             | Blue  | 0    | 10          | Positive | 9.8 +/- 8.7                      |  |
| 569              | First  | C                             | Basement Stair 22 | Entry door      | Wood       | POOR             | Blue  | 0    | 6.33        | Positive | 11.1 +/- 8.8                     |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |       | Genesee County Land Bank      |                   |                 |            |                  |       |      |             |          |                                  |  |
|------------------|-------|-------------------------------|-------------------|-----------------|------------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |       | 924 Eddy St., Flint, MI 48503 |                   |                 |            |                  |       |      |             |          |                                  |  |
| Survey Date:     |       | 65-27-2011                    |                   |                 |            |                  |       |      |             |          |                                  |  |
| Inspectors:      |       | Michael Gravin                |                   |                 | License #: | P-00313          |       |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor | Wall / Side                   | Room and #        | Component       | Substrate  | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 570              | First | C                             | Basement Stair 22 | Entry door      | Wood       | POOR             | Grey  | 0    | 2.47        | Positive | 28.2 +/- 17                      |  |
| 571              | First | C                             | Basement Stair 22 | Door Jamb       | Wood       | POOR             | Grey  | 0    | 3.23        | Positive | 26.9 +/- 16.2                    |  |
| 572              | First | C                             | Basement Stair 22 | Door Storm      | Wood       | POOR             | Grey  | 0    | 1.88        | Positive | 3.6 +/- 2.5                      |  |
| 573              | First | C                             | Basement Stair 22 | Door Threshold  | Wood       | POOR             | Grey  | 0    | 3.37        | Positive | 5.2 +/- 3.1                      |  |
| 574              | First | B                             | Basement Stair 22 | Win. Apron      | Wood       | POOR             | White | 0    | 10          | Positive | 15.1 +/- 11.3                    |  |
| 575              | First | B                             | Basement Stair 22 | Win. Sill/Stool | Wood       | POOR             | White | 0    | 8.43        | Positive | 10.7 +/- 9.1                     |  |
| 576              | First | B                             | Basement Stair 22 | Win. Casing     | Wood       | POOR             | White | 0    | 2.79        | Positive | 12.6 +/- 10.2                    |  |
| 577              | First | B                             | Basement Stair 22 | Win. Sash       | Wood       | POOR             | White | 0    | 4.27        | Positive | 14.4 +/- 10.8                    |  |
| 578              | First | B                             | Basement Stair 22 | Win. Stop       | Wood       | POOR             | White | 0    | 10          | Positive | 11.4 +/- 9.5                     |  |
| 579              | First | A                             | Basement Stair 22 | Shelf           | Wood       | POOR             | Blue  | 0    | 10          | Positive | 10.6 +/- 9.1                     |  |
| 580              | First | D                             | Basement Stair 22 | Header          | Wood       | FAIR             | Blue  | 0    | 8.08        | Positive | 6.4 +/- 3.2                      |  |
| 581              | First | D                             | Basement Stair 22 | Stair Riser     | Wood       | POOR             | Blue  | 0    | 10          | Positive | 4.8 +/- 2.9                      |  |
| 582              | First | A                             | Basement 23       | Wall            | Concrete   | POOR             | White | 0    | 4.71        | Positive | 14.8 +/- 12.6                    |  |
| 583              | First | A                             | Basement 23       | Wall            | Wood       | POOR             | White | 0    | 4.43        | Positive | 4.4 +/- 3.3                      |  |
| 584              | First | B                             | Basement 23       | Wall            | Concrete   | POOR             | White | 0    | 5.33        | Positive | 14.4 +/- 12                      |  |
| 585              | First | C                             | Basement 23       | Wall            | Concrete   | POOR             | White | 0    | 5.15        | Positive | 15.4 +/- 12.3                    |  |
| 586              | First | D                             | Basement 23       | Wall            | Wood       | POOR             | White | 0    | 5.63        | Positive | 5.9 +/- 3.2                      |  |
| 587              | First | Ceiling                       | Basement 23       | Ceiling         | Wood       | POOR             | White | 0    | 8.23        | Positive | 3.3 +/- 2                        |  |
| 588              | First | Ceiling                       | Basement 23       | Beam            | Wood       | POOR             | White | 0    | 5.49        | Positive | 3.8 +/- 2.6                      |  |
| 589              | First | Ceiling                       | Basement 23       | Beam            | Metal      | POOR             | White | 0    | 4.32        | Positive | 3.4 +/- 1.6                      |  |
| 590              | First | Ceiling                       | Basement 23       | Pipe            | Metal      | POOR             | White | 0    | 4.06        | Positive | 3 +/- 1.2                        |  |
| 591              | First | Center                        | Basement 23       | Support Pole    | Metal      | POOR             | White | 0    | 2.85        | Positive | 6.3 +/- 4.9                      |  |
| 592              | First | D                             | Basement 23       | Chimney         | Brick      | POOR             | White | 0    | 7.67        | Positive | 13.2 +/- 11.3                    |  |
| 593              | First | D                             | Basement 23       | Clos. Wall      | Wood       | POOR             | White | 0    | 5.89        | Positive | 13.4 +/- 10.1                    |  |
| 594              | First | D                             | Basement 23       | Clos. Wall      | Wood       | POOR             | White | 0    | 3.42        | Positive | 19.1 +/- 12.7                    |  |
| 595              | First | D                             | Basement 23       | Clos. Door      | Wood       | POOR             | White | 0    | 8.85        | Positive | 18.7 +/- 13.1                    |  |
| 596              | First | B                             | Basement 23       | Pipe/DWV        | Metal      | POOR             | White | 0    | 5.8         | Positive | 14.6 +/- 11.4                    |  |
| 600              | First | C                             | Basement 23       | Door Jamb       | Wood       | POOR             | Blue  | 0    | 4.71        | Positive | 6.8 +/- 3.4                      |  |
| 601              | First | C                             | Basement 23       | Door Jamb       | Wood       | POOR             | Blue  | 0    | 4.94        | Positive | 7.1 +/- 3.5                      |  |
| 603              | First | B                             | Basement Entry 24 | Wall            | Concrete   | POOR             | White | 0    | 1.29        | Positive | 4.5 +/- 3.2                      |  |
| 607              | First | C                             | Basement Entry 24 | Entry door      | Wood       | POOR             | Blue  | 0    | 2.07        | Positive | 12.1 +/- 9.3                     |  |
| 608              | First | C                             | Basement Entry 24 | Door Jamb       | Wood       | POOR             | Blue  | 0    | 1.94        | Positive | 11.7 +/- 9.3                     |  |
| 609              | First | C                             | Basement Entry 24 | Door Jamb       | Wood       | POOR             | Blue  | 0    | 1.73        | Positive | 10.3 +/- 8.5                     |  |
| 610              | First | A                             | Basement 25       | Wall            | Concrete   | POOR             | White | 0    | 2.32        | Positive | 16.1 +/- 12.3                    |  |
| 611              | First | B                             | Basement 25       | Wall            | Concrete   | POOR             | White | 0    | 4.71        | Positive | 15.5 +/- 12.6                    |  |
| 612              | First | C                             | Basement 25       | Wall            | Wood       | POOR             | White | 0    | 2.71        | Positive | 5.5 +/- 4.5                      |  |
| 613              | First | C                             | Basement 25       | Ceiling         | Wood       | POOR             | White | 0    | 2.23        | Positive | 5 +/- 3.6                        |  |
| 614              | First | A                             | Basement 25       | Cabinet Out     | Wood       | POOR             | White | 0    | 1.87        | Positive | 1.9 +/- 0.8                      |  |
| 615              | First | A                             | Basement 25       | Cabinet Door    | Wood       | POOR             | White | 0    | 1.6         | Positive | 2.1 +/- 0.8                      |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX B

#### Lead Paint ONLY Samples - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |          | Genesee County Land Bank      |                   |                    |            |                  |       |      |             |          |                                  |  |
|------------------|----------|-------------------------------|-------------------|--------------------|------------|------------------|-------|------|-------------|----------|----------------------------------|--|
| Survey Location: |          | 924 Eddy St., Flint, MI 48503 |                   |                    |            |                  |       |      |             |          |                                  |  |
| Survey Date:     |          | 65-27-2011                    |                   |                    |            |                  |       |      |             |          |                                  |  |
| Inspectors:      |          | Michael Gravin                |                   |                    | License #: | P-00313          |       |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor    | Wall / Side                   | Room and #        | Component          | Substrate  | Visual Condition | Color | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 616              | First    | A                             | Basement 25       | Drawer             | Wood       | POOR             | White | 0    | 1.5         | Positive | 1.7 +/- 0.7                      |  |
| 617              | First    | A                             | Basement 25       | Cabinet Shelf      | Wood       | POOR             | White | 0    | 1.5         | Positive | 5 +/- 3.1                        |  |
| 618              | First    | A                             | Basement 25       | Cabinet In         | Wood       | POOR             | White | 0    | 1.93        | Positive | 7.6 +/- 5.1                      |  |
| 619              | First    | C                             | Basement 25       | Door               | Wood       | POOR             | White | 0    | 1.93        | Positive | 11.5 +/- 9.6                     |  |
| 620              | First    | D                             | Basement 25       | Door               | Wood       | POOR             | White | 0    | 1.57        | Positive | 11.7 +/- 9.4                     |  |
| 621              | First    | A                             | Basement 26       | Wall               | Wood       | POOR             | White | 0    | 4.26        | Positive | 12.4 +/- 10.1                    |  |
| 623              | First    | B                             | Basement 26       | Wall               | Wood       | POOR             | White | 0    | 3.87        | Positive | 10.7 +/- 8.9                     |  |
| 624              | First    | C                             | Basement 26       | Wall               | Concrete   | POOR             | White | 0    | 2.39        | Positive | 5.9 +/- 4.3                      |  |
| 625              | First    | D                             | Basement 26       | Wall               | Concrete   | POOR             | White | 0    | 1.88        | Positive | 3.4 +/- 2.3                      |  |
| 626              | First    | D                             | Basement 26       | Ceiling            | Wood       | POOR             | White | 0    | 3.37        | Positive | 6.4 +/- 3.4                      |  |
| 627              | First    | D                             | Basement 26       | Win. Sash          | Wood       | POOR             | White | 0    | 2.1         | Positive | 3.5 +/- 1.8                      |  |
| 628              | First    | D                             | Basement 26       | Win. Jamb          | Wood       | POOR             | White | 0    | 2.88        | Positive | 4.4 +/- 2.7                      |  |
| 631              | First    | D                             | Basement 26       | Cabinet Out        | Wood       | POOR             | White | 0    | 3.46        | Positive | 5.7 +/- 3.2                      |  |
| 632              | First    | D                             | Basement 26       | Cabinet Door       | Wood       | POOR             | White | 0    | 2.67        | Positive | 4.4 +/- 2.5                      |  |
| 633              | First    | D                             | Basement 26       | Cabinet Shelves    | Wood       | POOR             | White | 0    | 3.11        | Positive | 5.3 +/- 3.2                      |  |
| 634              | First    | D                             | Basement 26       | Cabinet In         | Wood       | POOR             | White | 0    | 2.79        | Positive | 6.1 +/- 5.1                      |  |
| 635              | First    | D                             | Basement 26       | Beam               | Wood       | POOR             | White | 0    | 2.41        | Positive | 15.4 +/- 11.4                    |  |
| 636              | First    | Center                        | Basement 26       | Support Pole       | Metal      | POOR             | White | 0    | 3.57        | Positive | 18 +/- 12.3                      |  |
| 637              | First    | C                             | Basement 26       | Door               | Wood       | POOR             | White | 0    | 3.65        | Positive | 14.2 +/- 10.7                    |  |
| 638              | First    | C                             | Basement 26       | Door Jamb          | Wood       | POOR             | White | 0    | 4.25        | Positive | 10.9 +/- 9.7                     |  |
| 643              | First    | D                             | Basement 27       | Ceiling            | Wood       | POOR             | White | 0    | 1.36        | Positive | 6.9 +/- 4                        |  |
| 644              | Exterior | A                             | Ext. House 28     | Wall               | Stucco     | POOR             | White | 0    | 4.07        | Positive | 25.5 +/- 16.4                    |  |
| 645              | Exterior | A                             | Ext. House 28     | Porch wall, out    | Stucco     | POOR             | White | 0    | 2.97        | Positive | 20.2 +/- 13.3                    |  |
| 646              | Exterior | A                             | Ext. House 28     | Ext. Foundation    | Stucco     | POOR             | White | 0    | 3.64        | Positive | 20.9 +/- 13.4                    |  |
| 647              | Exterior | A                             | Ext. House 28     | Ext. Skirting      | Wood       | POOR             | White | 0    | 6.16        | Positive | 32.4 +/- 18.3                    |  |
| 648              | Exterior | A                             | Ext. House 28     | Ext. Drip Board    | Wood       | POOR             | White | 0    | 7.13        | Positive | 26.5 +/- 15.9                    |  |
| 649              | Exterior | A                             | Ext. House 28     | Win. Sill/Stool    | Wood       | POOR             | White | 0    | 6.86        | Positive | 26.2 +/- 16.4                    |  |
| 650              | Exterior | A                             | Ext. House 28     | Win. Casing        | Wood       | POOR             | White | 0    | 8.1         | Positive | 22.4 +/- 14.3                    |  |
| 651              | Exterior | A                             | Ext. House 28     | Door Casing        | Wood       | POOR             | White | 0    | 3.88        | Positive | 17.6 +/- 11.8                    |  |
| 652              | Exterior | A                             | Ext. House 28     | Porch Ceiling      | Wood       | POOR             | White | 0    | 6.6         | Positive | 20.1 +/- 13.3                    |  |
| 653              | Exterior | A                             | Ext. House 28     | Porch Beam         | Wood       | POOR             | White | 0    | 6.51        | Positive | 19.3 +/- 13                      |  |
| 654              | Exterior | A                             | Ext. House 28     | Porch Column       | Wood       | POOR             | White | 0    | 3.93        | Positive | 14.8 +/- 11                      |  |
| 655              | Exterior | A                             | Ext. House 28     | Ext. Frieze Board  | Wood       | POOR             | White | 0    | 6.71        | Positive | 19.1 +/- 13.1                    |  |
| 656              | Exterior | A                             | Ext. House 28     | Wall               | Wood       | POOR             | Red   | 0    | 1.4         | Positive | 1.4 +/- 0.4                      |  |
| 657              | First    | A                             | Sun Room 4        | Win. Sash, ext.    | Wood       | POOR             | Red   | 0    | 2.59        | Positive | 1.9 +/- 0.7                      |  |
| 658              | Exterior | A                             | Ext. House 28     | Win. Sash, ext.bas | Wood       | POOR             | Red   | 0    | 3.45        | Positive | 3.5 +/- 2.3                      |  |
| 659              | Exterior | B                             | Ext. House 28     | Wall               | Wood       | POOR             | Red   | 0    | 1.54        | Positive | 1.6 +/- 0.5                      |  |
| 660              | Exterior | B                             | Ext. House 28     | Wall               | Stucco     | POOR             | White | 0    | 3.64        | Positive | 19.5 +/- 13.7                    |  |
| 661              | Exterior | B                             | Basement Stair 22 | Win. Sash, ext.    | Wood       | POOR             | White | 0    | 4.69        | Positive | 4.3 +/- 3.2                      |  |

**ETC - Environmental Services WILCO Environmental**

**APPENDIX B**

**Lead Paint ONLY Samples - Ordered by Room**

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| <b>Client</b>           |          | Genesee County Land Bank      |                   |                        |                   |                  |       |      |               |          |                                  |  |
|-------------------------|----------|-------------------------------|-------------------|------------------------|-------------------|------------------|-------|------|---------------|----------|----------------------------------|--|
| <b>Survey Location:</b> |          | 924 Eddy St., Flint, MI 48503 |                   |                        |                   |                  |       |      |               |          |                                  |  |
| <b>Survey Date:</b>     |          | 65-27-2011                    |                   |                        |                   |                  |       |      |               |          |                                  |  |
| <b>Inspectors:</b>      |          | Michael Gravin                |                   |                        | <b>License #:</b> | P-00313          |       |      | <b>Job #:</b> | 137076   |                                  |  |
| Sample #                | Floor    | Wall / Side                   | Room and #        | Component              | Substrate         | Visual Condition | Color | Note | Depth Index   | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 662                     | Exterior | B                             | Basement Stair 22 | Win. Well/Trough       | Wood              | POOR             | White | 0    | 5.51          | Positive | 31.1 +/- 18.2                    |  |
| 663                     | Exterior | B                             | Basement Stair 22 | Win. Jamb              | Wood              | POOR             | White | 0    | 4.19          | Positive | 33.8 +/- 19.6                    |  |
| 664                     | Exterior | B                             | Ext. House 28     | Ext. Win. Storm/Screen | Wood              | POOR             | White | 0    | 5.77          | Positive | 24.9 +/- 14.9                    |  |
| 665                     | Exterior | B                             | Ext. House 28     | Bas. Win. Jamb         | Wood              | POOR             | White | 0    | 5.15          | Positive | 24.1 +/- 14.7                    |  |
| 666                     | Exterior | B                             | Ext. House 28     | Ext. Corner Board      | Wood              | POOR             | White | 0    | 4.05          | Positive | 34.9 +/- 19.1                    |  |
| 667                     | Exterior | B                             | Ext. House 28     | Door Casing            | Wood              | POOR             | Red   | 0    | 2.16          | Positive | 31.5 +/- 18.6                    |  |
| 668                     | Exterior | A                             | Ext. House 28     | Crawl Access casing    | Wood              | POOR             | White | 0    | 2.84          | Positive | 1.8 +/- 0.8                      |  |
| 669                     | Exterior | A                             | Ext. House 28     | Crawl Access           | Wood              | POOR             | White | 0    | 7.03          | Positive | 21.7 +/- 14.6                    |  |
| 670                     | Exterior | C                             | Ext. House 28     | Wall                   | Stucco            | POOR             | White | 0    | 2.55          | Positive | 20.9 +/- 14.3                    |  |
| 671                     | Exterior | C                             | Ext. House 28     | Porch Apron            | Wood              | POOR             | Red   | 0    | 2.52          | Positive | 25.8 +/- 15.8                    |  |
| 672                     | Exterior | C                             | Ext. House 28     | Porch Lattice/columns  | Wood              | POOR             | Red   | 0    | 3.29          | Positive | 16.7 +/- 11.4                    |  |
| 673                     | Exterior | C                             | Ext. House 28     | Porch Balusters        | Wood              | POOR             | Red   | 0    | 2.2           | Positive | 23.2 +/- 15.1                    |  |
| 674                     | Exterior | C                             | Ext. House 28     | Porch Rails            | Wood              | POOR             | Red   | 0    | 1.54          | Positive | 4.9 +/- 2.9                      |  |
| 675                     | Exterior | C                             | Ext. House 28     | Awning Ceiling         | Wood              | POOR             | Red   | 0    | 1.36          | Positive | 1.4 +/- 0.4                      |  |
| 676                     | Exterior | C                             | Ext. House 28     | Awning Supports        | Wood              | POOR             | Red   | 0    | 2.71          | Positive | 19.8 +/- 13                      |  |
| 677                     | Exterior | C                             | Ext. House 28     | Awning Joists          | Wood              | POOR             | Red   | 0    | 2.07          | Positive | 22.3 +/- 14.3                    |  |
| 678                     | Exterior | D                             | Ext. House 28     | Wall                   | Stucco            | POOR             | White | 0    | 2.69          | Positive | 16.1 +/- 11.8                    |  |
| 680                     | Exterior | D                             | Ext. House 28     | Conduit                | Metal             | POOR             | White | 0    | 1.68          | Positive | 1.9 +/- 0.6                      |  |
| 684                     | First    | All                           | Bathroom 9        | Win. Sash, ext.        | Wood              | POOR             | White | 0    |               | Positive | Presumed +/-                     |  |
| 685                     | First    | All                           | Bathroom 9        | Win. Well/Trough       | Wood              | POOR             | White | 0    |               | Positive | Presumed +/-                     |  |
| 686                     | First    | All                           | Bathroom 9        | Win. Jamb              | Wood              | POOR             | White | 0    |               | Positive | Presumed +/-                     |  |
| 687                     | Second   | All                           | Master Bedroom 13 | Win. Sash, ext.        | Wood              | POOR             | White | 0    |               | Positive | Presumed +/-                     |  |
| 688                     | Second   | All                           | Master Bedroom 13 | Win. Well/Trough       | Wood              | POOR             | White | 0    |               | Positive | Presumed +/-                     |  |
| 689                     | Second   | All                           | Master Bedroom 13 | Win. Jamb              | Wood              | POOR             | White | 0    |               | Positive | Presumed +/-                     |  |

## ETC - Environmental Services WILCO Environmental

### APPENDIX C

#### Potential Future Lead Paint Hazards - Ordered by Room

**Please note: Post 1978 Construction, factory finished and unpainted items were not sampled**

| Client           |        | Genesee County Land Bank      |                   |                    |            |                  |        |      |             |          |                                  |  |
|------------------|--------|-------------------------------|-------------------|--------------------|------------|------------------|--------|------|-------------|----------|----------------------------------|--|
| Survey Location: |        | 924 Eddy St., Flint, MI 48503 |                   |                    |            |                  |        |      |             |          |                                  |  |
| Survey Date:     |        | 65-27-2011                    |                   |                    |            |                  |        |      |             |          |                                  |  |
| Inspectors:      |        | Michael Gravlin               |                   |                    | License #: | P-00313          |        |      | Job #:      | 137076   |                                  |  |
| Sample #         | Floor  | Wall / Side                   | Room and #        | Component          | Substrate  | Visual Condition | Color  | Note | Depth Index | Result   | mg/cm <sup>2</sup> +/- Precision |  |
| 12               | First  | D                             | Living Room 1     | Casing             | Wood       | FAIR             | Green  | 0    | 8.84        | Positive | 1.4 +/- 0.4                      |  |
| 24               | First  | B                             | Living Room 1     | Door Jamb          | Wood       | FAIR             | White  | 0    | 4.26        | Positive | 2 +/- 0.7                        |  |
| 43               | First  | A                             | Front Entry 2     | Door Jamb          | Wood       | FAIR             | White  | 0    | 7.22        | Positive | 17.5 +/- 12.1                    |  |
| 72               | First  | A                             | Lower Sun Room 4  | Beam               | Wood       | FAIR             | White  | 0    | 2.24        | Positive | 4.1 +/- 3                        |  |
| 73               | First  | A                             | Lower Sun Room 4  | Crown Molding      | Wood       | FAIR             | White  | 0    | 2.45        | Positive | 41.5 +/- 22.4                    |  |
| 74               | First  | D                             | Lower Sun Room 4  | Fascia             | Wood       | FAIR             | Yellow | 0    | 2.23        | Positive | 36.9 +/- 21.1                    |  |
| 88               | First  | D                             | Hallway 5         | Wall               | Plaster    | FAIR             | Green  | 0    | 10          | Positive | 17.5 +/- 12.4                    |  |
| 109              | First  | B                             | Multi-Use Room 6  | Cabinet Out        | Wood       | FAIR             | White  | 0    | 10          | Positive | 2 +/- 0.8                        |  |
| 111              | First  | B                             | Multi-Use Room 6  | Cabinet Door       | Wood       | FAIR             | Blue   | 0    | 6.18        | Positive | 2.4 +/- 0.8                      |  |
| 112              | First  | B                             | Multi-Use Room 6  | Cabinet Shelf      | Wood       | FAIR             | Green  | 0    | 2.64        | Positive | 2.8 +/- 1.8                      |  |
| 113              | First  | B                             | Multi-Use Room 6  | Shelf Bracket      | Wood       | FAIR             | Green  | 0    | 2.71        | Positive | 2.5 +/- 1.3                      |  |
| 114              | First  | B                             | Multi-Use Room 6  | Cabinet In         | Wood       | FAIR             | Green  | 0    | 2.27        | Positive | 3.2 +/- 1.8                      |  |
| 144              | First  | D                             | Multi-Use Room 8  | Win. Apron         | Wood       | FAIR             | Pink   | 0    | 5.82        | Positive | 2.3 +/- 1.3                      |  |
| 207              | First  | B                             | Kitchen 10        | Clos. Casing       | Wood       | FAIR             | Yellow | 0    | 5.19        | Positive | 1.4 +/- 0.4                      |  |
| 282              | Second | A                             | Main Stairway 12  | Clos. Baseboard    | Wood       | FAIR             | White  | 0    | 2.48        | Positive | 7.9 +/- 5.9                      |  |
| 300              | Second | D                             | Master Bedroom 13 | Clos. Baseboard    | Wood       | FAIR             | White  | 0    | 10          | Positive | 9.4 +/- 4.1                      |  |
| 301              | Second | D                             | Master Bedroom 13 | Coat Rack          | Wood       | FAIR             | White  | 0    | 10          | Positive | 9.9 +/- 8.1                      |  |
| 314              | Second | B                             | Master Bedroom 13 | Win. Stop          | Wood       | FAIR             | White  | 0    | 8.86        | Positive | 7.4 +/- 3.6                      |  |
| 364              | Second | A                             | Bathroom 15       | Chair Rail         | Wood       | FAIR             | White  | 0    | 10          | Positive | 2.7 +/- 1.7                      |  |
| 415              | Second | B                             | Hallway 16        | Laundry Chute Door | Wood       | FAIR             | White  | 0    | 10          | Positive | 7 +/- 3.5                        |  |
| 416              | Second | B                             | Hallway 16        | Laundry Chute Door | Wood       | FAIR             | White  | 0    | 5.95        | Positive | 1.4 +/- 0.4                      |  |
| 449              | Second | A                             | Bedroom 18        | Shelf Bracket      | Wood       | FAIR             | White  | 0    | 10          | Positive | 10.9 +/- 9.4                     |  |
| 453              | Second | B                             | Bedroom 18        | Door Jamb          | Wood       | FAIR             | White  | 0    | 10          | Positive | 9.8 +/- 4.4                      |  |
| 454              | Second | B                             | Bedroom 18        | Door Stop          | Wood       | FAIR             | White  | 0    | 9.97        | Positive | 10.3 +/- 8.7                     |  |
| 455              | Second | B                             | Bedroom 18        | Door               | Wood       | FAIR             | White  | 0    | 10          | Positive | 16 +/- 11.6                      |  |
| 546              | First  | A                             | Rear Stairway 21  | Cabinet Shelf      | Wood       | FAIR             | White  | 0    | 3.76        | Positive | 2.8 +/- 1.8                      |  |
| 547              | First  | A                             | Rear Stairway 21  | Cabinet In         | Wood       | FAIR             | White  | 0    | 3.68        | Positive | 1.9 +/- 0.7                      |  |
| 580              | First  | D                             | Basement Stair 22 | Header             | Wood       | FAIR             | Blue   | 0    | 8.08        | Positive | 6.4 +/- 3.2                      |  |

# APPENDIX D

## Maps of Residence

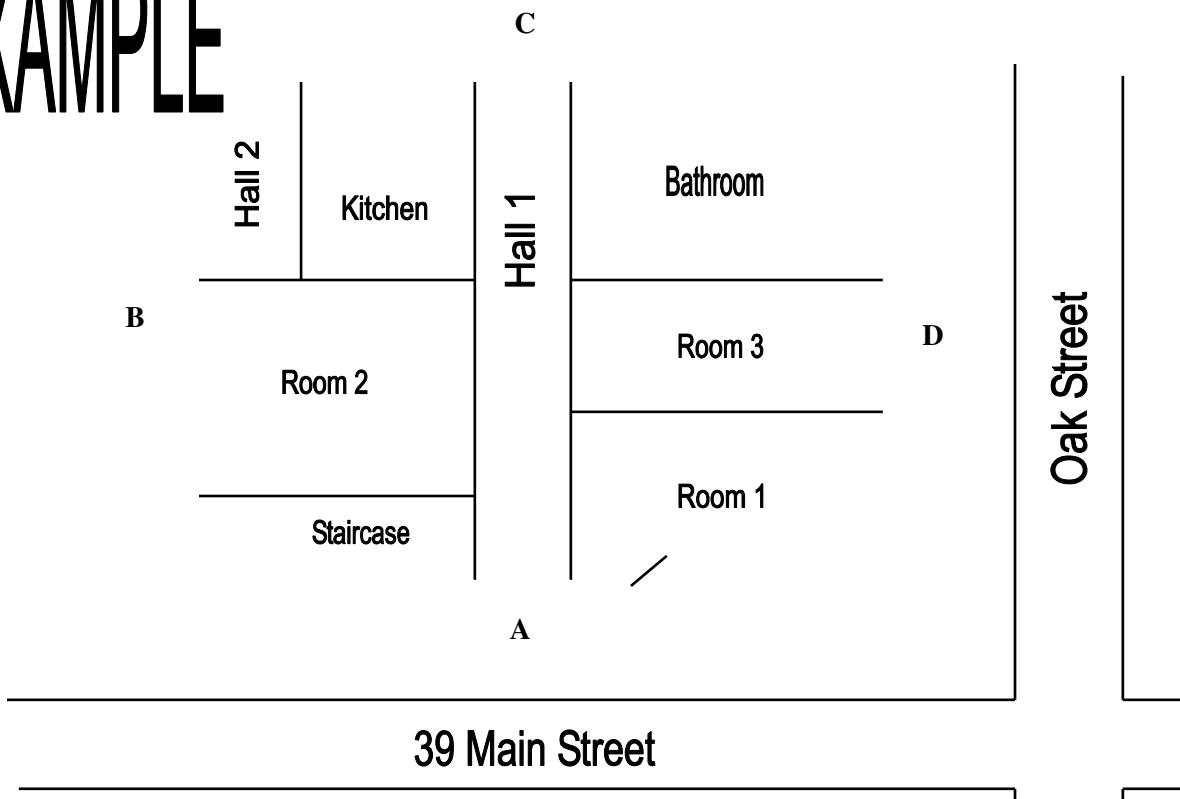
The inspection process uses a standard method of describing where lead paint is located. This is so that all parties involved will have a clear understanding as to what surfaces contain lead.

The outsides of the house will be lettered, starting with the letter A for the side of the house where the house gets its street address from. Starting at the A side, the rest of the house is lettered consecutively, clockwise around the house. Regardless of where the front door is located, the side of the house facing the street where the address is derived from will always be side A.

Inside the house, the process is much the same. The wall of each room that is nearest the A side of the house will be identified as wall A in the report. The wall nearest the B side will be labeled wall B, and so on.

For identifying the rooms and other areas of the interior of the house, a numbering system is used. Most rooms, with the exception of the kitchen and bath could be used for different purposes. When numbers are used, deciphering which room is called what will not be required. See dwelling map and labeling to determine the locations of the tests and hazards.

# EXAMPLE



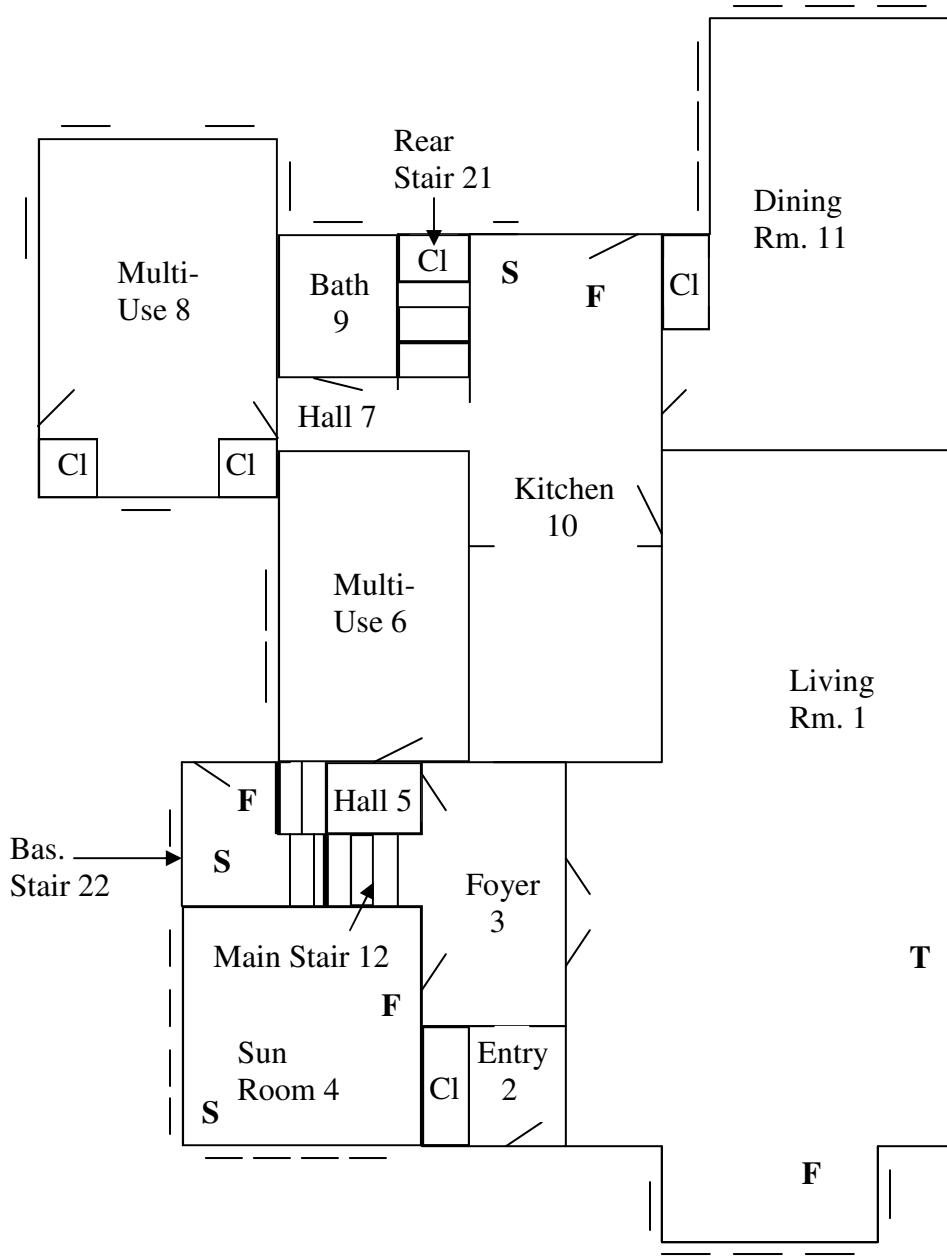


Side C

# 1st Floor

924 Eddy  
Flint, MI 48503  
Year Built: 1920's

Side B



Side D

- F = Floor Dust Wipe Sample
- S = Windowsill Dust Wipe Sample
- T = Window Trough Dust Wipe Sample
- W = Wood windows
- V = Vinyl windows
- A = Aluminum windows
- M = Metal windows
- GB = Glass block windows

Please Note: This is a rough floor plan only. All items, (doorways, Windows, etc.) may not be included in this illustration. Also, room and component sizes are not drawn to scale.

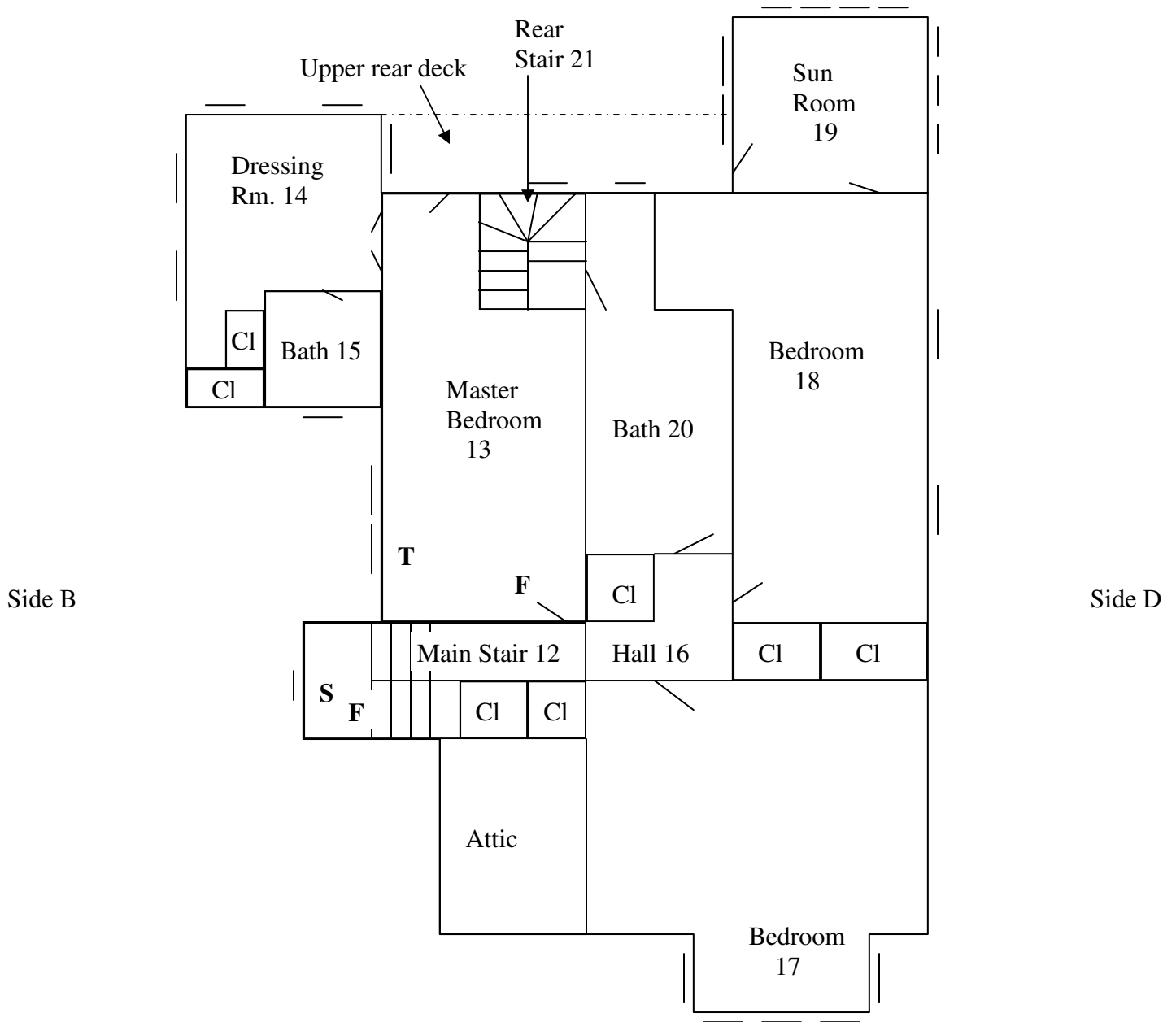
Side A

Genesee County Land Bank  
137076



Side C  
**2nd Floor**

924 Eddy  
Flint, MI 48503  
Year Built: 1920's



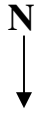
- F = Floor Dust Wipe Sample
- S = Windowsill Dust Wipe Sample
- T = Window Trough Dust Wipe Sample
- W = Wood windows
- V = Vinyl windows
- A = Aluminum windows
- M = Metal windows
- GB = Glass block windows

Please Note: This is a rough floor plan only. All items, (doorways, Windows, etc.) may not be included in this illustration. Also, room and component sizes are not drawn to scale.

Side A

Genesee County Land Bank  
137076

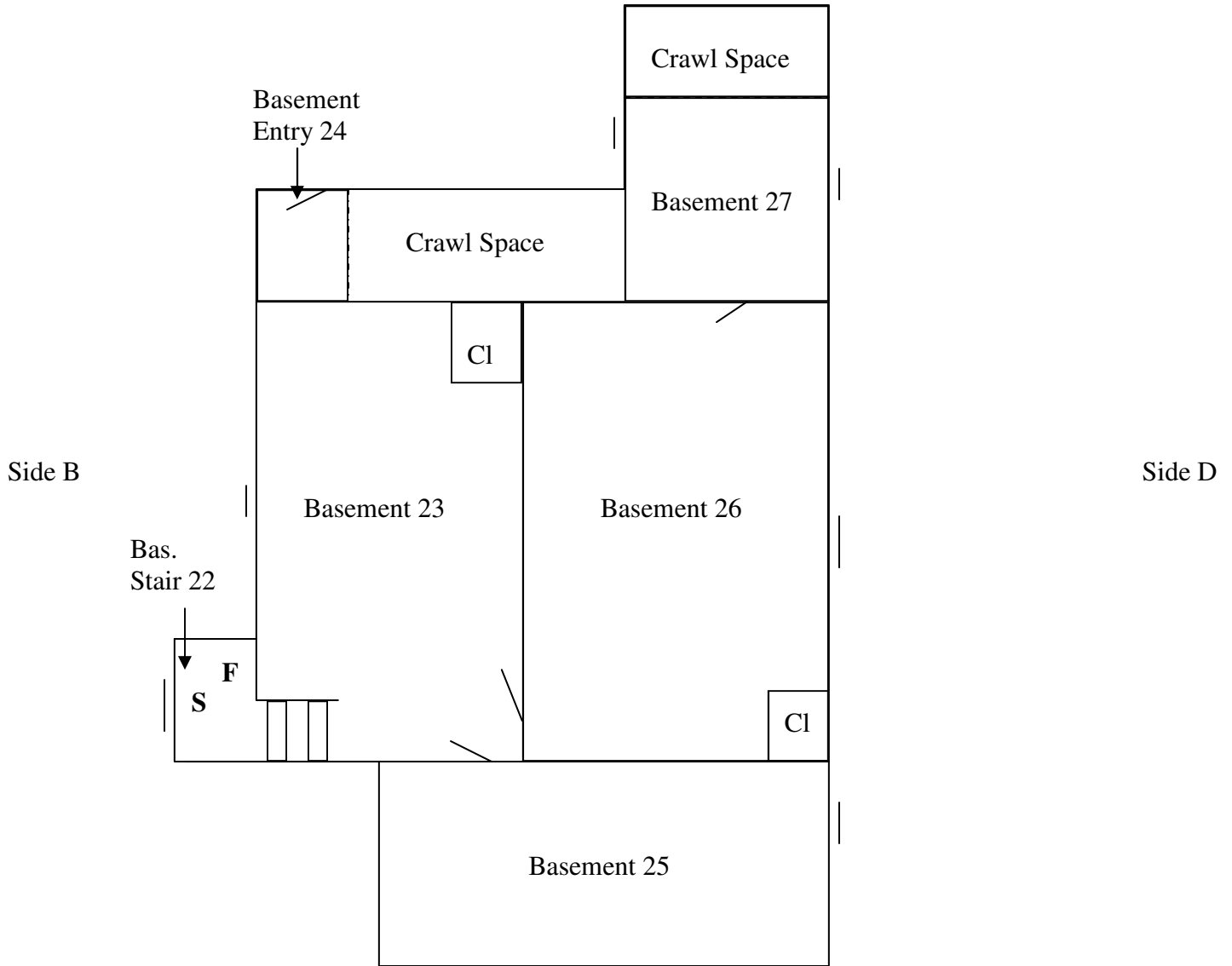




Side C

### Basement Level

924 Eddy  
Flint, MI 48503  
Year Built: 1920's



- F = Floor Dust Wipe Sample
- S = Windowsill Dust Wipe Sample
- T = Window Trough Dust Wipe Sample
- W = Wood windows
- V = Vinyl windows
- A = Aluminum windows
- M = Metal windows
- GB = Glass block windows

Please Note: This is a rough floor plan only. All items, (doorways, Windows, etc.) may not be included in this illustration. Also, room and component sizes are not drawn to scale.

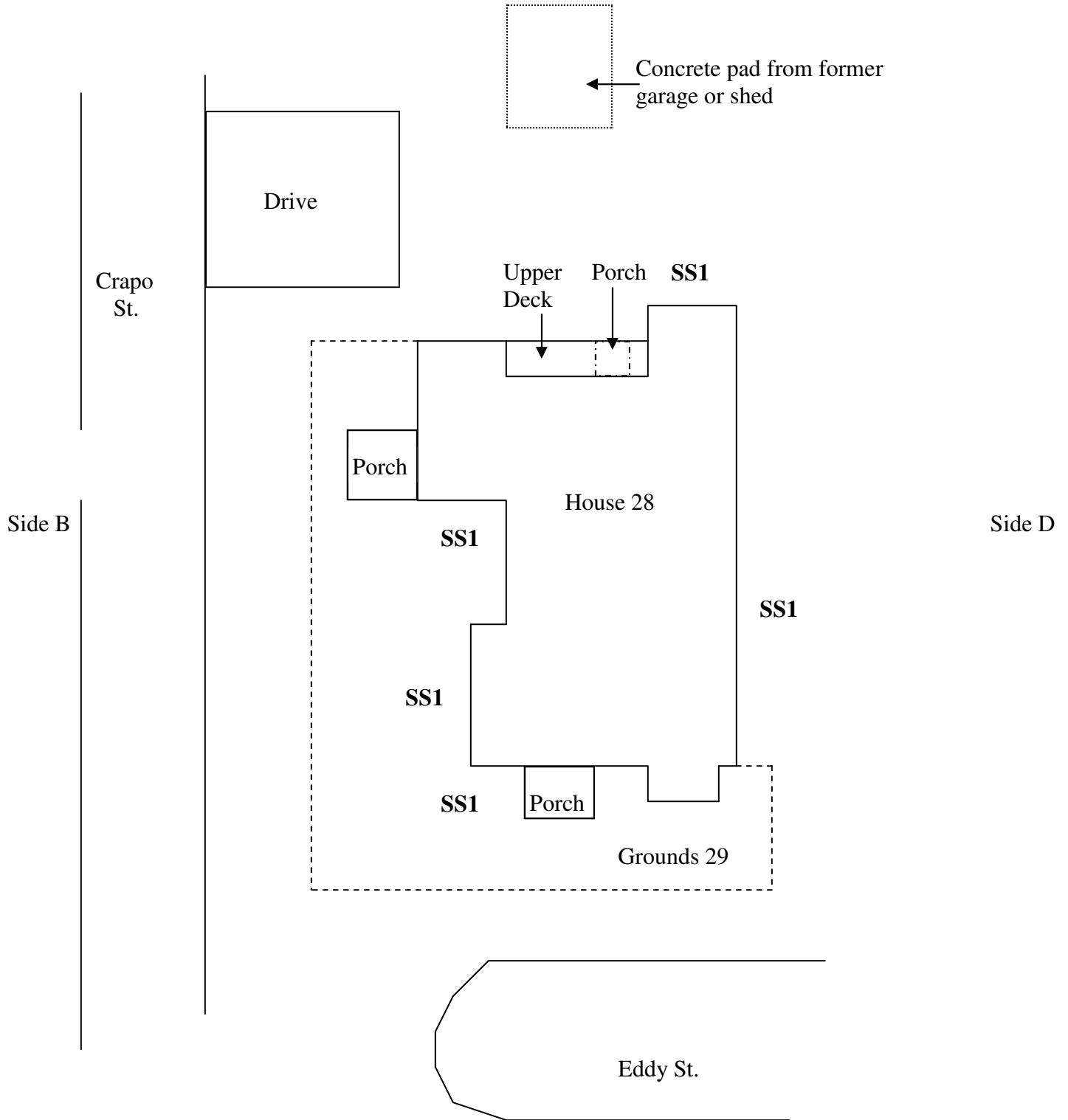
Side A

Genesee County Land Bank  
137076



Side C  
**Site Layout**

924 Eddy  
Flint, MI 48503  
Year Built: 1920's



SS = Soil Sample

Please Note: This is a rough site plan only. All items may not be included in this illustration. Not drawn to scale.

Side A

Genesee County Land Bank  
137076

## **APPENDIX E**

### **Resident Questionnaire and Building Condition Form**

## RESIDENT QUESTIONNAIRE

This residence was VACANT at the time of the inspection

|  |                                      |
|--|--------------------------------------|
| <b>Do any children under the age of 18 live in the home?</b>                           | N/A—Vacant                           |
| <b>What are the ages of the children?</b>  | N/A—Vacant                           |
| <b>Do any children under the age of 18 visit regularly in the home?</b>                | N/A—Vacant                           |
| <b>What are the ages of the children?</b>  | N/A—Vacant                           |
| <b>Any known elevated blood lead levels?</b>   | N/A—Vacant                           |
| <b>Location of children (under 7) bedrooms.</b>  | N/A—Vacant                           |
| <b>Where do children eat? Rm. #'s:</b>   | N/A—Vacant                           |
| <b>What room are toys stored (children play)?</b>                                      | N/A—Vacant                           |
| <b>Where do children play outdoors?</b>  | N/A—Vacant                           |
| <b>Which windows are opened most often?</b>  | N/A—Vacant                           |
| <b>Rooms with window air conditioners.</b>   | N/A—Vacant                           |
| <b>Have any renovation work items been completed in the last several years?</b>        | Unknown                              |
| <b>Are you planning any renovations of the home?</b>                                   | Yes—unknown                          |
| <b>Are you planning any landscaping activities?</b>                                    | Unknown                              |
| <b>Is there evidence of chewed, chipped, or peeling paints?</b>                        | Yes—See XRF results                  |
| <b>Have any previous lead inspections/assessments been completed at this property?</b> | Unknown                              |
| <b>Have any lead hazard control activities been conducted at this address?</b>         | Unknown                              |
| <b>Are you aware of any current lead paint hazards in this home?</b>                   | N/A                                  |
| <b>Has a housing code violation ever been issued for this building?</b>                | Unknown                              |
| <b>Which entrances are used most often?</b>  | N/A—Vacant                           |
| <b>Do you have a vegetable garden?</b>   | N/A—Vacant                           |
| <b>Is there a dog or cat in the home?</b>  | N/A—Vacant                           |
| <b>How often is the house regularly cleaned?</b>                                       | N/A—Vacant                           |
| <b>How often is the house thoroughly cleaned?</b>                                      | N/A—Vacant                           |
| <b>What cleaning methods are used?</b>   | N/A—Vacant                           |
| <b>Do any household members work in a field that might expose them to lead?</b>        | N/A—Vacant                           |
| <b>If yes to 21, where are work clothes stored for cleaning?</b>                       | N/A—Vacant                           |
| <b>Who was interviewed for this section?</b>   | Visual observation by the Technician |

### Building Condition Form

If two or more components have been found to be in poor condition, this house needs more than a Risk Assessment. A complete paint inspection will give information as to potential hazards not identified in a standard Risk Assessment.

| Condition   | Yes       | No       |
|---|-----------|----------|
| Roof missing parts of surface covering?   | X         |          |
| Roof has holes or large cracks?   | X         |          |
| Gutters or downspouts broken?   | X         |          |
| Chimney or masonry cracked, with loose or missing components, out of plumb or otherwise deteriorated? | X         |          |
| Exterior or interior walls have large cracks, or damage requiring more than routine painting?         | X         |          |
| Exterior siding missing components?   | X         |          |
| Water stains on interior walls or ceilings?   | X         |          |
| Plaster walls deteriorated?   | X         |          |
| Two or more windows or doors missing, broken or boarded up?   | X         |          |
| Porch or steps have major cracks, missing materials, structural leans, or visibly unsound?            | X         |          |
| Foundation has damage, structural problems, leans or is unsound?                                      | X         |          |
| Are there any debris piles or other "extreme" storage issues around the yard/grounds?                 |           | X        |
| Other conditions not listed   | X         |          |
|   |           |          |
| <b>Total</b>  | <b>12</b> | <b>1</b> |

## **APPENDIX F**

### **Re-Evaluation Schedule Chart**

**Standard Reevaluation Schedule**  
(See Notes to Table)

| Schedule | Evaluation Results  | Action Taken   | Reevaluation Frequency   | Visual Survey (by owner or owner's representative)  |
|----------|---|--|--|---|
| 1        | Combination risk assessment/inspection finds no leaded dust or soil and no lead-based paint   | None   | None   | None  |
| 2        | No lead-based paint hazards found during risk assessment conducted before hazard control or at clearance (hazards include dust and soil).                           | None   | 3 years  | Annually and whenever information indicates a possible problem  |
| 3        | The average of leaded dust levels on all floors, interior window sills, or window troughs sampled exceeds the applicable standard, but by less than a factor of 10. | <p>A. Interim controls and/or hazard abatement (or mixture of the two), including, but not necessarily limited to, dust removal. This schedule does not include window replacement.</p> <p>B. Treatments specified in section A plus replacement of all windows with lead hazards</p> <p>C. Abatement of all lead-based paint using encapsulation or enclosure</p> <p>D. Removal of all lead-based paint</p> | <p>1 year,<br/>2 years</p> <p>1 year</p> <p>None</p> <p>None</p>                             | <p>Same as Schedule 2, except for encapsulants. The first visual survey of encapsulants should be done one month after clearance; the second should be done six months later and annually thereafter.</p> <p>Same as Schedule 3 above</p> <p>None</p> |
| 4        | The average of leaded dust levels on all floors, interiors window sills, or window troughs sampled exceeds the applicable standard by a factor of 10 or more        | <p>A. Interim controls and/or hazard abatement (or mixture of the two), including, but not necessarily limited to, dust removal. This schedule does not include window replacement.</p> <p>B. Treatments specified in section A plus replacement of all windows with lead hazards</p> <p>C. Abatement of all lead-based paint using encapsulation or enclosure</p> <p>D. Removal of all lead-based paint</p> | <p>6 months,<br/>1 year,<br/>2 years</p> <p>6 months<br/>2 years</p> <p>None</p> <p>None</p> | <p>Same as Schedule 3</p> <p>Same as Schedule 3</p> <p>Same as Schedule 3</p> <p>None</p>   |
| 5        | No leaded dust or leaded soil hazards identified, but lead-based paint or lead-based paint hazards are found.   | <p>A. Interim controls or mixture of interim controls and abatement (not including window replacement)</p> <p>B. Mixture of interim controls and abatement, including window replacement</p> <p>C. Abatement of all lead-based paint hazards, but not all lead-based paint</p> <p>D. Abatement of all lead-based paint using encapsulation or enclosure</p> <p>E. Removal of all lead-based paint</p>        | <p>2 years</p> <p>3 years</p> <p>4 years</p> <p>None</p> <p>None</p>                         | <p>Same as Schedule 3</p> <p>Same as Schedule 3</p> <p>Same as Schedule 3</p> <p>Same as Schedule 3</p>   |
| 6        | Bare leaded soil exceeds standard, but less than 5.000 $\mu$ g/g.   | Interim controls   | None   | 3 months to check new ground cover, then annually to identify new bare spots  |
| 7        | Bare leaded soil greater than or equal to 5.000 $\mu$ g/g.  | Abatement (paving or removal)  | None   | None for removal, annually to identify new bare spots or deterioration of paving  |

## Standard Reevaluation Schedule (continued)

### Notes to Table:

When more than one schedule applies to a dwelling, use the one with the most stringent reevaluation schedule. Do not use the results of a reevaluation for Schedule 2.

A lead-based paint hazard includes deteriorated lead-based paint and leaded dust and soil above applicable standards.

The frequency of reevaluations and the interval between reevaluations depends on the findings at each reevaluation and the action taken. For example, a dwelling unit or common area falling under Schedule 3.A would be reevaluated one year after clearance. If no lead-based paint hazards are detected at that time, the unit or area would be reevaluated again two years after the first reevaluation. If no hazards are found in the second reevaluation, no further reevaluation is necessary, but annual visual monitoring should continue.

If, on the other hand, the unit or common area fails a reevaluation, a new reevaluation schedule should be determined based on the results of the reevaluation and the action taken. For instance, if the reevaluation finds deteriorated lead-based paint but no lead-contaminated dust, and the action taken is paint stabilization, Schedule 5.A would apply, which indicates that the next reevaluation should be in two years. If, however, the owner of this same property decides to abate all lead-based paint hazards instead of doing only paint stabilization, the property would move to Schedule 5.C, which calls for reevaluation four years from the date of clearance after the hazard abatement.

Following another scenario, suppose a reevaluation of this same dwelling unit or common area finds that the average dust lead levels on sampled window troughs exceeds the applicable standard by a factor of 10 or more, but no other lead-based paint hazards. The owner conducts dust removal. In this case the next reevaluation would be six months after clearance.

The initial evaluation results determine which reevaluation schedule should be applied. An initial evaluation can be a risk assessment, a risk assessment/ inspection combination, or, if the owner has opted to bypass the initial evaluation and proceed directly to controlling suspected hazards, a combination risk assessment/clearance examination. This type of clearance must be conducted by a certified risk assessor, who should determine if all hazards were in fact controlled. The results of the initial clearance dust tests, soil sampling and visual examination should be used to determine the appropriate schedule. If repeated cleaning was necessary to achieve clearance, use the results of the dust tests before repeated cleaning was performed for schedule determination.

If a unit fails two consecutive reevaluations, the reevaluation interval should be reduced by half and the number of reevaluations should be doubled. If deteriorated lead-based paint hazards continue to occur, then the offending components/surfaces should be abated. If dwellings with dust hazards but no paint-related hazards repeatedly fail reevaluations, the exterior source should be identified (if identification efforts fail, regular dust removal efforts are needed).



## **APPENDIX G**

### **Site Photos**



Front of Home (Side A)



Side B



Rear of Home (Side C)



Side D



Interior House



Interior House



Interior House



Side A Porch 1





Side A Porch 2



Side A Porch 3



Basement 1



Basement 2



Basement 3



Basement 4



Side C Awning



Side C Porch





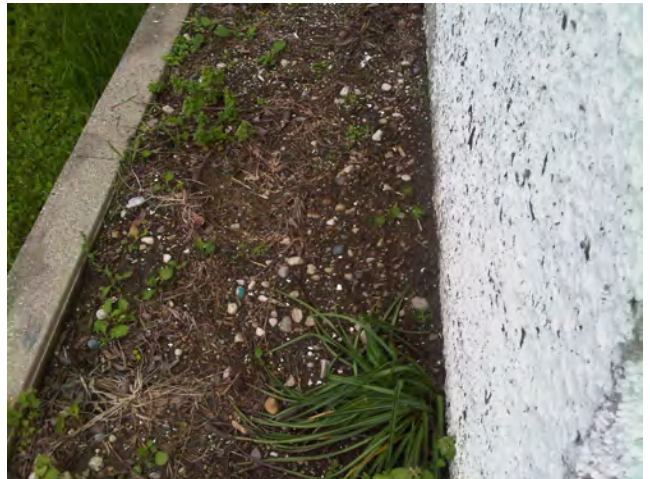
Side C Porch



Exterior Side A wall



Exterior Side C upper



House Perimeter—Paint Chips



House Perimeter—Paint Chips

## Applicability

The Project or Program to which the construction work covered by this contract pertains is being assisted by the United States of America and the following Federal Labor Standards Provisions are included in this Contract pursuant to the provisions applicable to such Federal assistance.

**A. 1. (i) Minimum Wages.** All laborers and mechanics employed or working upon the site of the work will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR Part 3), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made a part hereof, regardless of any contractual relationship which may be alleged to exist between the contractor and such laborers and mechanics. Contributions made or costs reasonably anticipated for bona fide fringe benefits under Section I(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of 29 CFR 5.5(a)(1)(iv); also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs, which cover the particular weekly period, are deemed to be constructively made or incurred during such weekly period.

Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits on the wage determination for the classification of work actually performed, without regard to skill, except as provided in 29 CFR 5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein: Provided, That the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under 29 CFR 5.5(a)(1)(ii) and the Davis-Bacon poster (WH-1321) shall be posted at all times by the contractor and its subcontractors at the site of the work in a prominent and accessible, place where it can be easily seen by the workers.

**(ii) (a)** Any class of laborers or mechanics which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. HUD shall approve an additional classification and wage rate and fringe benefits therefor only when the following criteria have been met:

- (1)** The work to be performed by the classification requested is not performed by a classification in the wage determination; and
- (2)** The classification is utilized in the area by the construction industry; and
- (3)** The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.

**(b)** If the contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and HUD or its designee agree on the classification and wage rate (including the amount designated for fringe benefits where

appropriate), a report of the action taken shall be sent by HUD or its designee to the Administrator of the Wage and Hour Division, Employment Standards Administration, U.S. Department of Labor, Washington, D.C. 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary. (Approved by the Office of Management and Budget under OMB control number 1215-0140.)

**(c)** In the event the contractor, the laborers or mechanics to be employed in the classification or their representatives, and HUD or its designee do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), HUD or its designee shall refer the questions, including the views of all interested parties and the recommendation of HUD or its designee, to the Administrator for determination. The Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary. (Approved by the Office of Management and Budget under OMB Control Number 1215-0140.)

**(d)** The wage rate (including fringe benefits where appropriate) determined pursuant to subparagraphs (1)(ii)(b) or (c) of this paragraph, shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in the classification.

**(iii)** Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the contractor shall either pay the benefit as stated in the wage determination or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.

**(iv)** If the contractor does not make payments to a trustee or other third person, the contractor may consider as part of the wages of any laborer or mechanic the amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program, Provided, That the Secretary of Labor has found, upon the written request of the contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the contractor to set aside in a separate account assets for the meeting of obligations under the plan or program. (Approved by the Office of Management and Budget under OMB Control Number 1215-0140.)

**2. Withholding.** HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld from the contractor under this contract or any other Federal contract with the same prime contractor, or any other Federally-assisted contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime contractor so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics, including apprentices, trainees and helpers, employed by the contractor or any subcontractor the full amount of wages required by the contract. In the event of failure to pay any laborer or mechanic, including any apprentice, trainee or helper, employed or working on the site of the work, all or part



of the wages required by the contract, HUD or its designee may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased. HUD or its designee may, after written notice to the contractor, disburse such amounts withheld for and on account of the contractor or subcontractor to the respective employees to whom they are due. The Comptroller General shall make such disbursements in the case of direct Davis-Bacon Act contracts.

**3. (i) Payrolls and basic records.** Payrolls and basic records relating thereto shall be maintained by the contractor during the course of the work preserved for a period of three years thereafter for all laborers and mechanics working at the site of the work. Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in Section I(b)(2)(B) of the Davis-bacon Act), daily and weekly number of hours worked, deductions made and actual wages paid. Whenever the Secretary of Labor has found under 29 CFR 5.5 (a)(1)(iv) that the wages of any laborer or mechanic include the amount of any costs reasonably anticipated in providing benefits under a plan or program described in Section I(b)(2)(B) of the Davis-Bacon Act, the contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs. (Approved by the Office of Management and Budget under OMB Control Numbers 1215-0140 and 1215-0017.)

**(ii) (a)** The contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to HUD or its designee if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit the payrolls to the applicant sponsor, or owner, as the case may be, for transmission to HUD or its designee. The payrolls submitted shall set out accurately and completely all of the information required to be maintained under 29 CFR 5.5(a)(3)(i). This information may be submitted in any form desired. Optional Form WH-347 is available for this purpose and may be purchased from the Superintendent of Documents (Federal Stock Number 029-005-00014-1), U.S. Government Printing Office, Washington, DC 20402. The prime contractor is responsible for the submission of copies of payrolls by all subcontractors. (Approved by the Office of Management and Budget under OMB Control Number 1215-0149.)

**(b)** Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the contractor or subcontractor or his or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:

**(1)** That the payroll for the payroll period contains the information required to be maintained under 29 CFR 5.5 (a)(3)(i) and that such information is correct and complete;

**(2)** That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll

period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in 29 CFR Part 3;

**(3)** That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.

**(c)** The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirement for submission of the "Statement of Compliance" required by subparagraph A.3.(ii)(b).

**(d)** The falsification of any of the above certifications may subject the contractor or subcontractor to civil or criminal prosecution under Section 1001 of Title 18 and Section 231 of Title 31 of the United States Code.

**(iii)** The contractor or subcontractor shall make the records required under subparagraph A.3.(i) available for inspection, copying, or transcription by authorized representatives of HUD or its designee or the Department of Labor, and shall permit such representatives to interview employees during working hours on the job. If the contractor or subcontractor fails to submit the required records or to make them available, HUD or its designee may, after written notice to the contractor, sponsor, applicant or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.

#### **4. Apprentices and Trainees.**

**(i) Apprentices.** Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship Training, Employer and Labor Services, or with a State Apprenticeship Agency recognized by the Office, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by the Office of Apprenticeship Training, Employer and Labor Services or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an apprentice. The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who is not registered or otherwise employed as stated above, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the contractor's or subcontractor's registered program shall be observed. Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the

journeymen hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination. In the event the Office of Apprenticeship Training, Employer and Labor Services, or a State Apprenticeship Agency recognized by the Office, withdraws approval of an apprenticeship program, the contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

**(ii) Trainees.** Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration. The ratio of trainees to journeymen on the job site shall not be greater than permitted under the plan approved by the Employment and Training Administration. Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed on the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate on the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by the Employment and Training Administration shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. In the event the Employment and Training Administration withdraws approval of a training program, the contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

**(iii) Equal employment opportunity.** The utilization of apprentices, trainees and journeymen under 29 CFR Part 5 shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR Part 30.

**5. Compliance with Copeland Act requirements.** The contractor shall comply with the requirements of 29 CFR Part 3 which are incorporated by reference in this contract

**6. Subcontracts.** The contractor or subcontractor will insert in any subcontracts the clauses contained in subparagraphs 1 through 11 of this paragraph A and such other clauses as HUD or its designee may by appropriate instructions require, and a copy of the applicable prevailing wage decision, and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all the contract clauses in this paragraph.

**7. Contract termination; debarment.** A breach of the contract clauses in 29 CFR 5.5 may be grounds for termination of the contract and for debarment as a contractor and a subcontractor as provided in 29 CFR 5.12.

**8. Compliance with Davis-Bacon and Related Act Requirements.** All rulings and interpretations of the Davis-Bacon and Related Acts contained in 29 CFR Parts 1, 3, and 5 are herein incorporated by reference in this contract

**9. Disputes concerning labor standards.** Disputes arising out of the labor standards provisions of this contract shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR Parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the contractor (or any of its subcontractors) and HUD or its designee, the U.S. Department of Labor, or the employees or their representatives.

**10. (i) Certification of Eligibility.** By entering into this contract the contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the contractor's firm is a person or firm ineligible to be awarded Government contracts by virtue of Section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1) or to be awarded HUD contracts or participate in HUD programs pursuant to 24 CFR Part 24.

**(ii)** No part of this contract shall be subcontracted to any person or firm ineligible for award of a Government contract by virtue of Section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1) or to be awarded HUD contracts or participate in HUD programs pursuant to 24 CFR Part 24.

**(iii)** The penalty for making false statements is prescribed in the U.S. Criminal Code, 18 U.S.C. 1001. Additionally, U.S. Criminal Code, Section 1 01 0, Title 18, U.S.C., "Federal Housing Administration transactions", provides in part: "Whoever, for the purpose of . . . influencing in any way the action of such Administration.... makes, utters or publishes any statement knowing the same to be false..... shall be fined not more than \$5,000 or imprisoned not more than two years, or both."

**11. Complaints, Proceedings, or Testimony by Employees.** No laborer or mechanic to whom the wage, salary, or other labor standards provisions of this Contract are applicable shall be discharged or in any other manner discriminated against by the Contractor or any subcontractor because such employee has filed any complaint or instituted or caused to be instituted any proceeding or has testified or is about to testify in any proceeding under or relating to the labor standards applicable under this Contract to his employer.

**B. Contract Work Hours and Safety Standards Act.** The provisions of this paragraph B are applicable only where the amount of the prime contract exceeds \$100,000. As used in this paragraph, the terms "laborers" and "mechanics" include watchmen and guards.

**(1) Overtime requirements.** No contractor or subcontractor contracting for any part of the contract work which may require or involve the employment of laborers or mechanics shall require or permit any such laborer or mechanic in any workweek in which he or she is employed on such work to work in excess of 40 hours in such workweek unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the basic rate of pay for all hours worked in excess of 40 hours in such workweek.

**(2) Violation; liability for unpaid wages; liquidated damages.** In the event of any violation of the clause set forth in subpara-

graph (1) of this paragraph, the contractor and any subcontractor responsible therefor shall be liable for the unpaid wages. In addition, such contractor and subcontractor shall be liable to the United States (in the case of work done under contract for the District of Columbia or a territory, to such District or to such territory), for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic, including watchmen and guards, employed in violation of the clause set forth in subparagraph (1) of this paragraph, in the sum of \$10 for each calendar day on which such individual was required or permitted to work in excess of the standard workweek of 40 hours without payment of the overtime wages required by the clause set forth in sub paragraph (1) of this paragraph.

**(3) Withholding for unpaid wages and liquidated damages.** HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld, from any moneys payable on account of work performed by the contractor or subcontractor under any such contract or any other Federal contract with the same prime contract, or any other Federally-assisted contract subject to the Contract Work Hours and Safety Standards Act which is held by the same prime contractor such sums as may be determined to be necessary to satisfy any liabilities of such contractor or subcontractor for unpaid wages and liquidated damages as provided in the clause set forth in subparagraph (2) of this paragraph.

**(4) Subcontracts.** The contractor or subcontractor shall insert in any subcontracts the clauses set forth in subparagraph (1) through (4) of this paragraph and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in subparagraphs (1) through (4) of this paragraph.

**C. Health and Safety.** The provisions of this paragraph C are applicable only where the amount of the prime contract exceeds \$100,000.

**(1)** No laborer or mechanic shall be required to work in surroundings or under working conditions which are unsanitary, hazardous, or dangerous to his health and safety as determined under construction safety and health standards promulgated by the Secretary of Labor by regulation.

**(2)** The Contractor shall comply with all regulations issued by the Secretary of Labor pursuant to Title 29 Part 1926 and failure to comply may result in imposition of sanctions pursuant to the Contract Work Hours and Safety Standards Act, 40 USC 3701 et seq.

**(3)** The Contractor shall include the provisions of this paragraph in every subcontract so that such provisions will be binding on each subcontractor. The Contractor shall take such action with respect to any subcontract as the Secretary of Housing and Urban Development or the Secretary of Labor shall direct as a means of enforcing such provisions.

**EQUAL OPPORTUNITY CLAUSE  
(EXECUTIVE ORDER 11246)**

"During the performance of this contract, the contractor agrees as follows:

"(1) The contractor will not discriminate against any employee or applicant for Employment because of race, creed, color, or national origin. The contractor will take affirmative action to ensure that applicants are employed, and that employees are treated during employment, without regard to their race, creed, color, or national origin. Such action shall include, but not be limited to the following: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by the contracting officer setting forth the provisions of this nondiscrimination clause.

"(2) The contractor will, in all solicitations or advertisements for employees placed by or on behalf of the contractor, state that all qualified applicants will receive consideration for employment without regard to race, creed, color, or national origin.

"(3) The contractor will send to each labor union or representative of workers with which he has a collective bargaining agreement or other contract or understanding, a notice, to be provided by the agency contracting officer, advising the labor union or workers' representative of the contractor's commitments under Section 202 of Executive Order No. 11246 of September 24, 1965, and shall post copies of the notice in conspicuous places available to employees and applicants for employment.

"(4) The contractor will comply with all provisions of Executive Order No. 11246 of Sept. 24, 1965, and of the rules, regulations, and relevant orders of the Secretary of Labor.

"(5) The contractor will furnish all information and reports required by Executive Order No. 11246 of September 24, 1965, and by the rules, regulations, and orders of the Secretary of Labor, or pursuant thereto, and will permit access to his books, records, and accounts by the contracting agency and the Secretary of Labor for purposes of investigation to ascertain compliance with such rules, regulations, and orders.

"(6) In the event of the contractor's noncompliance with the nondiscrimination clauses of this contract or with any of such rules, regulations, or orders, this contract may be cancelled, terminated or suspended in whole or in part and the contractor may be declared ineligible for further Government contracts in accordance with procedures authorized in Executive Order No. 11246 of Sept 24, 1965, and such other sanctions may be imposed and remedies invoked as provided in Executive Order No. 11246 of September 24, 1965, or by rule, regulation, or order of the Secretary of Labor, or as otherwise provided by law.

"(7) The contractor will include the provisions of Paragraphs (1) through (7) in every subcontract or purchase order unless exempted by rules, regulations, or orders of the Secretary of Labor issued pursuant to Section 204 of Executive Order No. 11246 of Sept. 24, 1965, so that such provisions will be binding upon each subcontractor or vendor. The contractor will take such action with respect to any subcontract or purchase order as the contracting agency may direct as a means of enforcing such provisions including sanctions for noncompliance: Provided, however, That in the event the contractor becomes involved in, or is threatened with, litigation with a subcontractor or vendor as a result of such direction by the contracting agency, the contractor may request the United States to enter into such litigation to protect the interests of the United States."

## SECTION 3 CLAUSE

All Section 3 covered contracts shall include the following clause (referred to as the “Section 3 Clause”):

A. The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, [12 U.S.C. 1701u](#) (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.

B. The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 135, which implement section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the part 135 regulations.

C. The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

D. The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR Part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR Part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR Part 135.

E. The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected by before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135.

F. Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

G. With respect to work performed in connection with section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible (i) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

## City of Flint – Section 3 Plan Addendum

This document provides specific direction for certification and reporting of the implementation of the City of Flint's Section 3 Standard Operating Procedures.

### Title 24--Housing and Urban Development

CHAPTER I--OFFICE OF ASSISTANT SECRETARY FOR EQUAL OPPORTUNITY,  
DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
PART 135--ECONOMIC OPPORTUNITIES FOR LOW- AND VERY LOW-INCOME  
PERSONS

#### **Resident Requirements**

Each contractor conducting services on covered projects under the guideline Title 24 Code of Federal Regulation Part 135 is to provide the City of Flint a current list of employees that will be assigned to accomplish activities under the covered contract within 10 business days of the contract execution date.

Section 3 is triggered when the normal completion of construction and rehabilitation projects creates the need for new employment, contracting or training opportunities beyond the list of employees provided at the execution of the contract including, but not limited to, administrative, managerial, clerical, service, and building trades positions.

Employee registers should be submitted monthly on the Monthly Status Report Worksheet along with the monthly activity report/pay request. Section 3 compliance will be monitored monthly by verifying the names on the initial employee list with monthly activity reports and/or pay requests that list new employees in the payroll. Thirty percent of new hires, trainees or contractors are required to be Section 3 eligible. If accomplishing the contract does not require new employees, training or contractors, Section 3 is not triggered.

All potential Section 3 eligible new hires must register with the Mott Community College Workforce Development and Career Services Department before they begin working. MCC Workforce Development (MCC WFD) will certify that new hires are Section 3 eligible. MCC WFD will provide the new hire Section 3 certification documentation to the identified Contractor and the City of Flint.

If the contractor/sub recipient is unable to identify Section 3 eligible individuals with the skill sets needed to accomplish the work that is needed, MCC Workforce Development has a pool of Building Construction Trade graduates that are Section 3 certified. The contractor should contact MCC to secure certified employees.

MCC WFD will provide the City of Flint with monthly reports to identify the number and placement of Section 3 certified workers.

### **Business Concerns**

Each contractor conducting services on covered projects under the guideline Title 24 Code of Federal Regulation Part 135 is to provide the City of Flint a current list of contractors that will be assigned to accomplish activities under the covered contract within 10 business days of the contract execution date.

Section 3 is triggered when the normal completion of construction and rehabilitation projects creates the need for new employment, contracting or training opportunities beyond the list of contractors provided at the execution of the contract.

Each contractor and subcontractor demonstrates compliance with the requirements of this part by awarding at least 10 percent of contracts to Section 3 Business Concerns.

If the Contract Holder identifies a Section 3 Business Concern for sub contracting purposes, submit Section 3 Business Concern documentation for certification to the City of Flint Section 3 Coordinator to certify each Business Concern. Each Section 3 eligible employee of that Contractor must be directed to Mott Community College Workforce Development and Career Services Department for certification.

Contractor registers should be submitted monthly on the Monthly Status Report Worksheet along with the monthly activity report/pay request. Section 3 compliance will be monitored monthly by verifying the companies on the initial employee list with monthly activity reports and/or pay requests that list new employees in the payroll. If accomplishing the contract does not require new contractors, Section 3 is not triggered.

A list is being compiled of Section 3 Business Concerns. For a list of eligible businesses, please contact the Department of Community and Economic Development.



**Certification for Resident Seeking Section 3 Training and Employment**

**Preference**

Eligibility Preference

A Section 3 resident seeking the preference in training and employment provided by this project shall certify or submit evidence to Mott Community College Workforce Development and recipient contractor/subcontractor that the person is a Section 3 resident.

I, \_\_\_\_\_, am a legal resident of the City of Flint

(print name)

and meet the income eligibility guidelines for a low- or very-low-income person for this area.

My permanent address is:

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I have attached the following documentation as evidence of my status:

- Copy of lease
- Copy of receipt of public assistance
- Copy of Evidence of participation in a public assistance program
- Other evidence
  - Tax return
  - Pay stub
  - Social Security Annual Income Report
  - Unemployment rejection letter
  - DHS denial letter
  - Notarized letter of support from other individual

Signature \_\_\_\_\_

Print Name \_\_\_\_\_

Date \_\_\_\_\_

**Open Enrollment**

**Monday - Thursday ONLY**

**Arrive 15 minutes early**

**Intake is at 9AM-or-1PM**

**MUST be on time!!!**

**Intake is 3-3 ½ hours**

**NO children PLEASE!**



**Mott Community College (MCC) – Workforce & Career Development Department** is pleased to share services offered through the Workforce Investment Act (WIA) Program, which are designed to assist with **employment and career goals.**

MCC provides services through the WIA Title I **Adult, Dislocated and Older Youth Worker Programs.** **All participants must be 18 years of age or older; a citizen of the United States or an eligible non-citizen and registered with selective service (if applicable).** Dislocated Worker Program participants must also be terminated or laid off or have received a notice of termination or layoff from employment; and eligible for/or exhausted his/her entitlement to unemployment compensation. **If the previous requirements are not met, participants must have worked 90 days consecutively and unlikely to return.**

Both programs offer three levels of service: staff-assisted core, intensive and training services. Participants are involved in activities such as Individual Job Development, Advanced Job Club, Advanced Screened Referrals and Follow-Up Services, which are tailored to meet individual needs. Supportive Services may be available on a limited basis, to those who qualify for the purpose of enabling the successful participation and completion of program services.

To take advantage of these program opportunities, individuals must register with and receive core services from the Employment Services Office; complete the WIA Registration process and meet the program eligibility and documentation requirements.

Please call (810) 232-2555 if you have any questions.

**The following documentation will be needed at the time of your appointment as it applies to your situation.**

- **Career Alliance Referral Forms from Employment Services**
- **Valid Driver's License or State ID**
- **Social Security Card**
- **Birth Certificate (If no valid ID)**
- **Adult Workers (*Proof of Family Size & Proof of Income – Most Recent Check Stub*)**
- **Spouse most recent check stub (*If married*)**
- **Most Recent Tax Return (To verify Family size)**
- **Dislocated Workers (*Most Current UA Check Stub, UA Determination Notice*)**
- **Letter of dismissal from last employer-if available**
- **Medical Cards / Bridge Card**
- **DHS Statement of Income**
- **SSI / SSD Statement of Income**
- **Copy of WorkKeys assessment results**
- **DD-214, Military Transfer/Discharge Paper**

We look forward to working with you soon!

**Charles Stewart Mott Community College  
Workforce & Career Development – WIA Program**

709 North Saginaw Street - Flint, Michigan 48503 • (810) 232-2555 (Voice & TTY) – (810) 232-4981 (Fax)

AN EQUAL OPPORTUNITY PROGRAM/AFFIRMATIVE ACTION EMPLOYER  
AUXILIARY AIDS AND SERVICES ARE AVAILABLE TO PERSONS WITH DISABILITIES UPON REQUEST.



**Certification for Business Concern Seeking Section 3 Preference in Contracting and Demonstration of Capacity**

Name of Business \_\_\_\_\_ Phone/Fax \_\_\_\_\_

Address of Business \_\_\_\_\_

Type of Business: Corporation Partnership Sole Proprietorship

Type of Business Activity: \_\_\_\_\_

Attached is the following documentation as evidence of status:

**For all business entities (as applicable):**

- |  |   |
|--|---|
| <input type="checkbox"/> Copy of Articles of Incorporation                                     | <input type="checkbox"/> Certificate of Good Standing             |
| <input type="checkbox"/> Assumed Business Name Certificate                                     | <input type="checkbox"/> Partnership Agreement                    |
| <input type="checkbox"/> List of owners/stockholders and 51% ownership of each                 | <input type="checkbox"/> Corporation Annual Report                |
| <input type="checkbox"/> Organization chart with names and titles and brief function statement | <input type="checkbox"/> Latest Board minutes appointing officers |
|  | <input type="checkbox"/> Additional documentation                 |

**For business claiming status as a Section 3 resident-owned enterprise:**

Certification for Section 3 Residents (at least 51% of the business owners)

**For Business claiming Section 3 status by subcontracting 25% of the dollar award to**

**qualified Section 3 Business:**

- List of subcontracted Section 3 business(es) and subcontract amount
- This certification & all supporting documentation for each subcontracted Section 3 Business

**For business claiming Section 3 status, claiming at least 30 percent of their workforce are currently Section 3 residents or were Section 3 eligible residents within 3 years of date of first employment with the business:**

- List of all current full time employees
- List of employees claiming Section 3 status
- Certification for Section 3 Residents (at least 30% of all current full-time employees) with supporting documentation showing Section 3 status immediately prior to the date of first hire

**Evidence of ability to perform successfully under the terms and conditions of the proposed contract:**

- Current financial statement or Income Tax Return
- Statement of ability to comply with public policy (federal, state or city work experience)
- List of owned equipment
- List of all contracts for the past two years

\_\_\_\_\_  
Authorized Name, Title and Signature

Date \_\_\_\_\_

Please submit documentation of the following items to Tracy Atkinson at City of Flint, Dept. of Community and Economic Development, 1101 S. Saginaw St., Flint, Michigan 48502, [tatkinson@cityofflint.com](mailto:tatkinson@cityofflint.com), 810-766-7426 ext. 3059, 810-766-7351 (fax)

**City of Flint Housing Administration Division**  
**SECTION 3 DEVELOPER/SUBGRANTEE EMPLOYMENT ROSTER**  
Submitted on Execution of Contract

Contractor Name: \_\_\_\_\_ Contact Person: \_\_\_\_\_ Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Project Name: \_\_\_\_\_ Contact Number: \_\_\_\_\_ Reporting Period: \_\_\_\_\_

Please list all current employees on your project – Identify Section 3 Certified employees

| <u>Name</u> | <u>Address</u> | <u>Telephone</u> | <u>Starting Date</u> | <u>Ending Date</u> | <u>Position</u> |
|-------------|----------------|------------------|----------------------|--------------------|-----------------|
| 1.          |                |                  |                      |                    |                 |
| 2.          |                |                  |                      |                    |                 |
| 3.          |                |                  |                      |                    |                 |
| 4.          |                |                  |                      |                    |                 |
| 5.          |                |                  |                      |                    |                 |
| 6.          |                |                  |                      |                    |                 |
| 7.          |                |                  |                      |                    |                 |
| 8.          |                |                  |                      |                    |                 |
| 9.          |                |                  |                      |                    |                 |
| 10.         |                |                  |                      |                    |                 |

Signature \_\_\_\_\_ Date: \_\_\_\_\_

To be submitted with monthly activity/pay requests

**City of Flint Housing Administration Division**  
**SECTION 3 GENERAL CONTRACTOR'S MONTHLY STATUS REPORT**  
**WORK-SHEET**

Reporting Period: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Date Submitted: \_\_\_\_\_

Telephone: \_\_\_\_\_

| Project Name | Contract Dollar Amount | Sub-Contractor | Start Date | Scheduled Completion Date | Total Hours Worked | Total New Hires | Total Section 3 New Hires | % of Section 3 Hours Worked | Total Contract Dollars to Section 3 Labor |
|--------------|------------------------|----------------|------------|---------------------------|--------------------|-----------------|---------------------------|-----------------------------|---|
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |
|              |                        |                |            |                           |                    |                 |                           |                             |   |

Signature \_\_\_\_\_ Date: \_\_\_\_\_

Return with monthly activity report/pay request

# SECTION 3 SUB-CONTRACTOR MONTHLY REPORT

## SUPPLEMENTAL INFORMATION

|   |   |
|---|---|
| 1. Reporting Period:  |   |
| <div style="border: 1px solid black; width: 100%; height: 30px; margin-bottom: 5px;"></div> 2. Project Name | <div style="border: 1px solid black; width: 100%; height: 30px; margin-bottom: 5px;"></div> 3. Project Location |

| (4)              | (5)             | (6)  | (7)               | (8)  | (9)                           |
|------------------|-----------------|--|-------------------|--|-------------------------------|
| Job Category     | Total New Hires | Total New Hires that are Section 3 Residents | Total Staff Hours | Total Staff hours for Section 3 Employees & Trainees | Total Section 3 Labor Dollars |
| Professionals    |                 |  |                   |  |                               |
| Professionals    |                 |  |                   |  |                               |
| Technical        |                 |  |                   |  |                               |
| Office/Clerical  |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| Trade:           |                 |  |                   |  |                               |
| <b>(9) TOTAL</b> |                 | <b>0</b>                                     |                   |  |                               |

Signature \_\_\_\_\_ Date: \_\_\_\_\_

**Include in monthly activity report/pay request (Sub-contractors submit to General)**